

NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :



الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

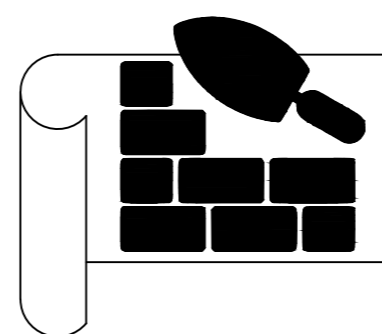
القسم : مخططات أنشائية

اللوحة : COVER

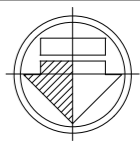
تصميم م / عبدالله السيد
مراجعة م / حمد النضيف
اعتماد م / حمد النضيف

مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-001



STRUCTURAL DRAWINGS



NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشاري :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

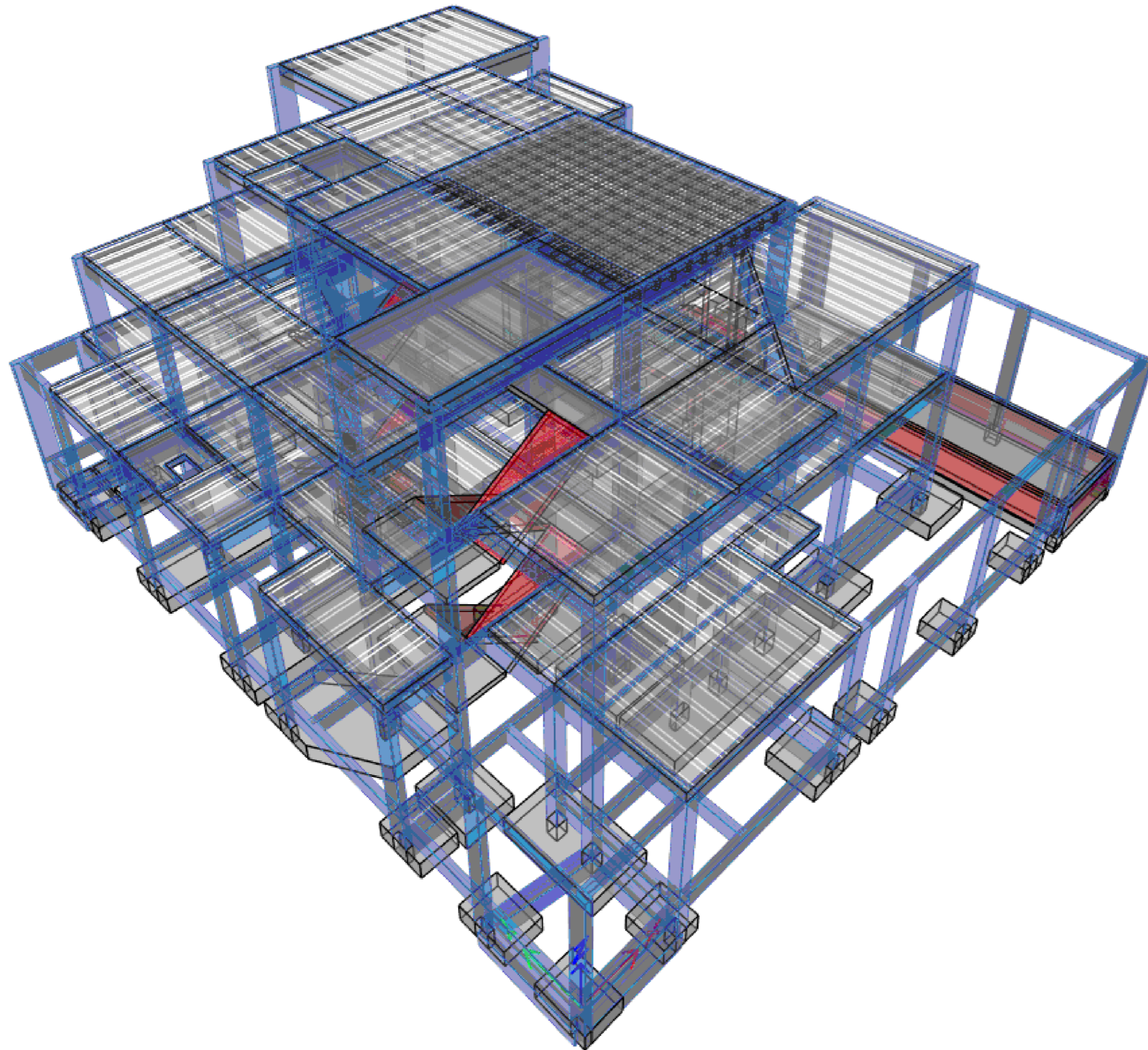
القسم : مخططات أنشائية

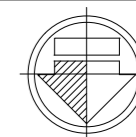
اللوحة : LIST OF BUILDING DRAWINGS

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر/ ٢٠٢٣
رقم اللوحة	STR-002

D R A W I N G L I S T

NO.	DESCRIPTION
ST-00	COVER
ST-00	List of Drawings
ARCH-00	The columns are signed by the architect Ground
ARCH-01	The columns are signed by the architect First
ARCH-02	The columns are signed by the architect Roof
ARCH-03	The columns are signed by the architect Top Roof
ST-01	GENERAL NOTES
ST-02	TYPICAL DETAILS - 01
ST-03	TYPICAL DETAILS - 02
ST-04	TYPICAL DETAILS - 03
ST-05	TYPICAL DETAILS - 04
ST-101	FOUNDATIONS PLAN
ST-201	COLUMNS & AXIS PLAN FOUNDATIONS FRAMING PLAN
ST-202	COLUMNS & AXIS PLAN GROUND FRAMING PLAN
ST-203	COLUMNS & AXIS PLAN FIRST FRAMING PLAN
ST-204	COLUMNS & AXIS PLAN ROOF FRAMING PLAN
ST-301	GROUND FLOOR PLAN
ST-302	FIRST FLOOR PLAN
ST-303	ROOF FLOOR SLAB
ST-304	TOP ROOF SLAB
ST-401	SCHEDULES - NO.01
ST-402	SCHEDULES - NO.02
ST-501	WATER TANK
ST-502	SWIMMING POOL





NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888855
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 051988827
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 067188884

مشروع : فيلا سكنية

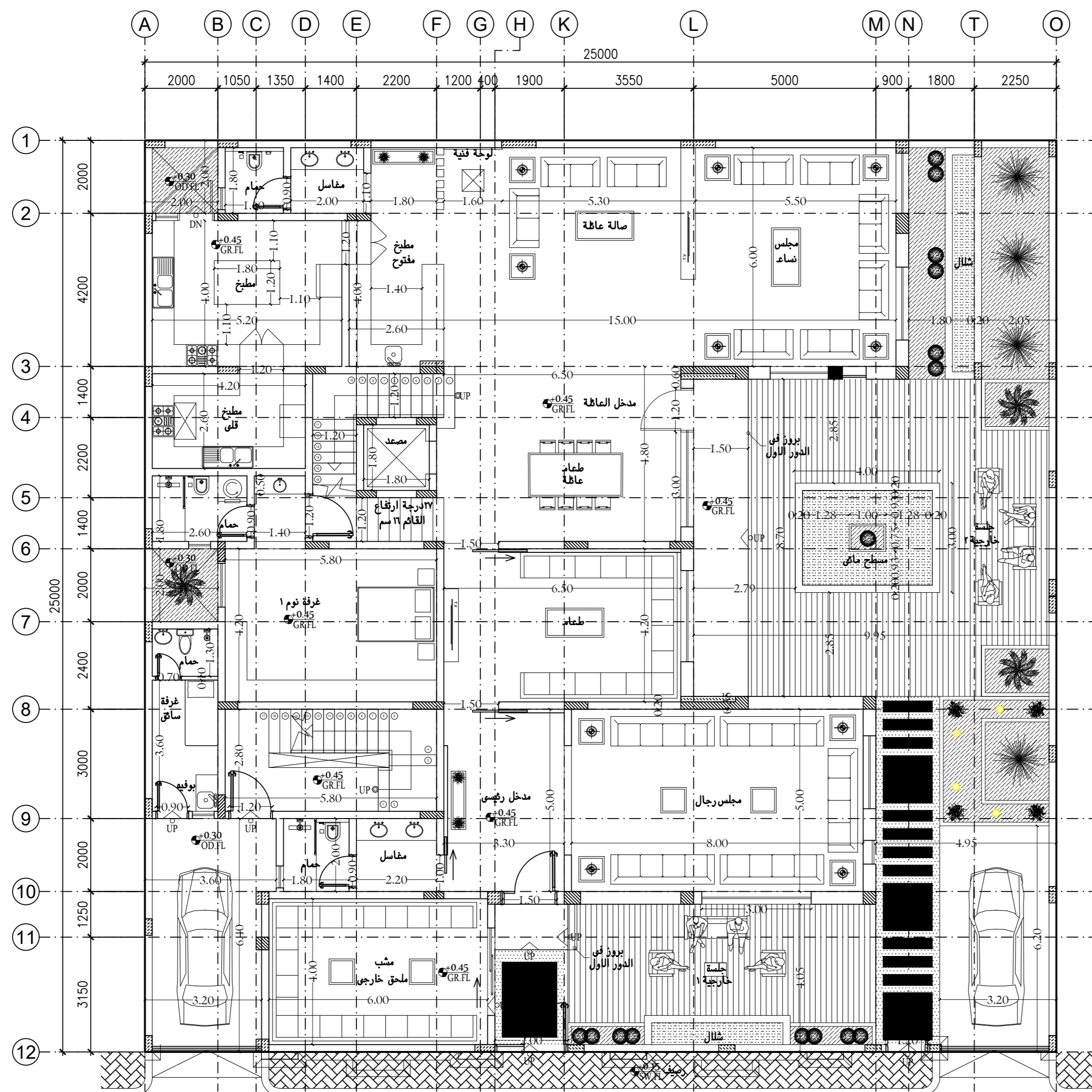
المالك : محمد العنزي

الموقع : الرياض

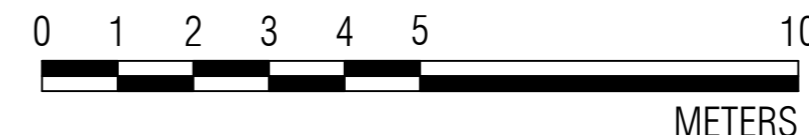
القسم : مخططات أنشائية

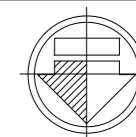
The columns are signed by the architect : اللوحة : 001

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم 1 - 100	التاريخ ديسمبر / 2023
رقم اللوحة	STR-003



A GROUND FLOOR FRAMING PLAN
STR.-001 1:100



**NOTES:**

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888277
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 067188884

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : The columns are signed by the architect 002

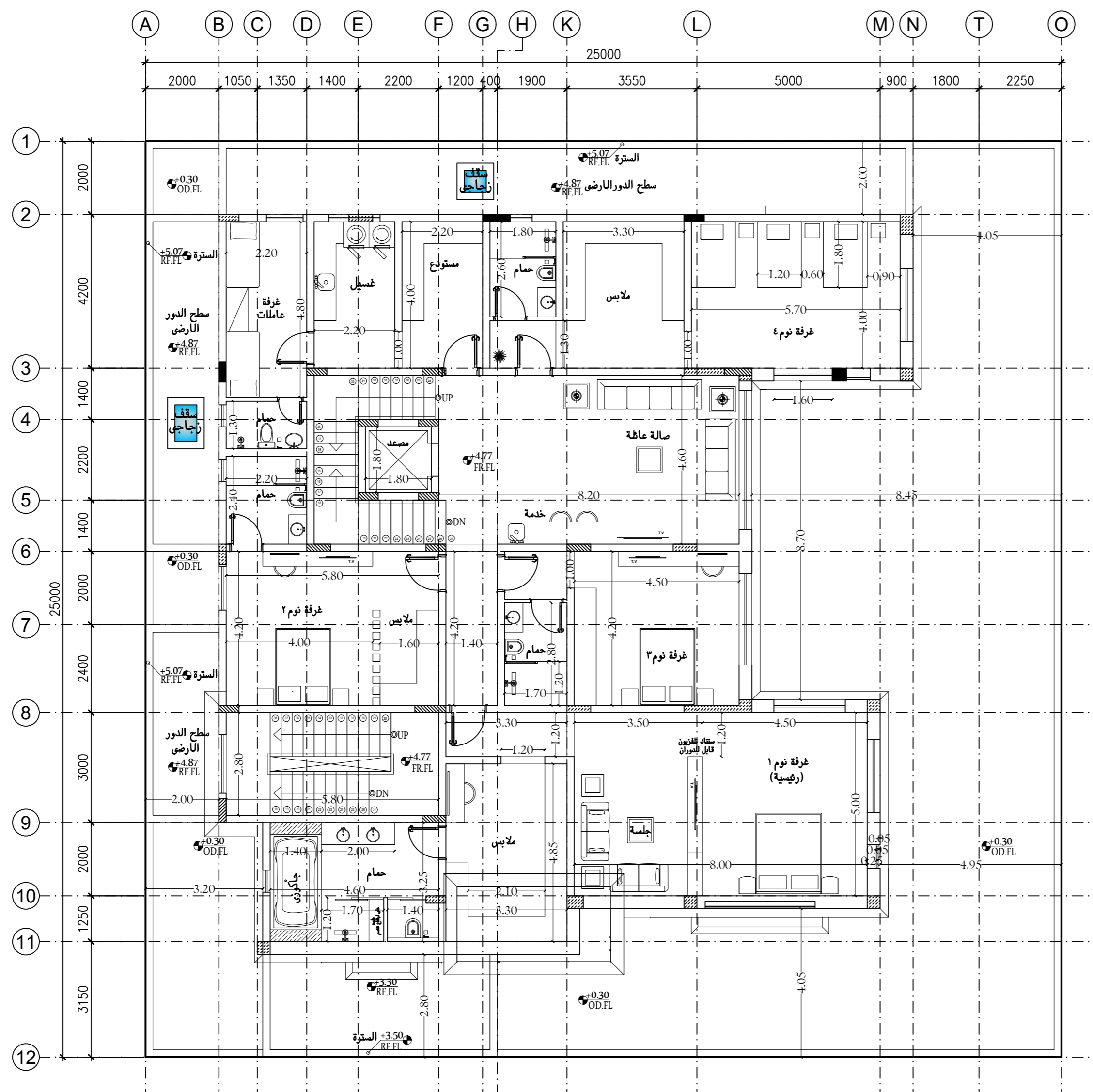
تصميم م / عبدالله السيد

مراجعة م / حمد النضيف

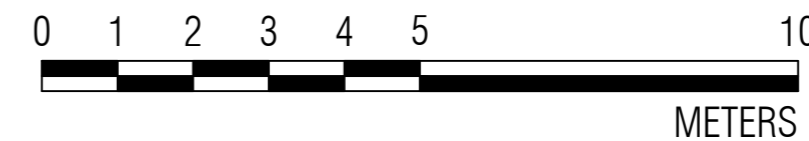
اعتماد م / حمد النضيف

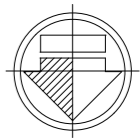
مقياس الرسم 1 - 100 التاريخ ديسمبر/ 2023

رقم اللوحة STR-004



B FIRST FLOOR FRAMING PLAN
STR-002 1:100





NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



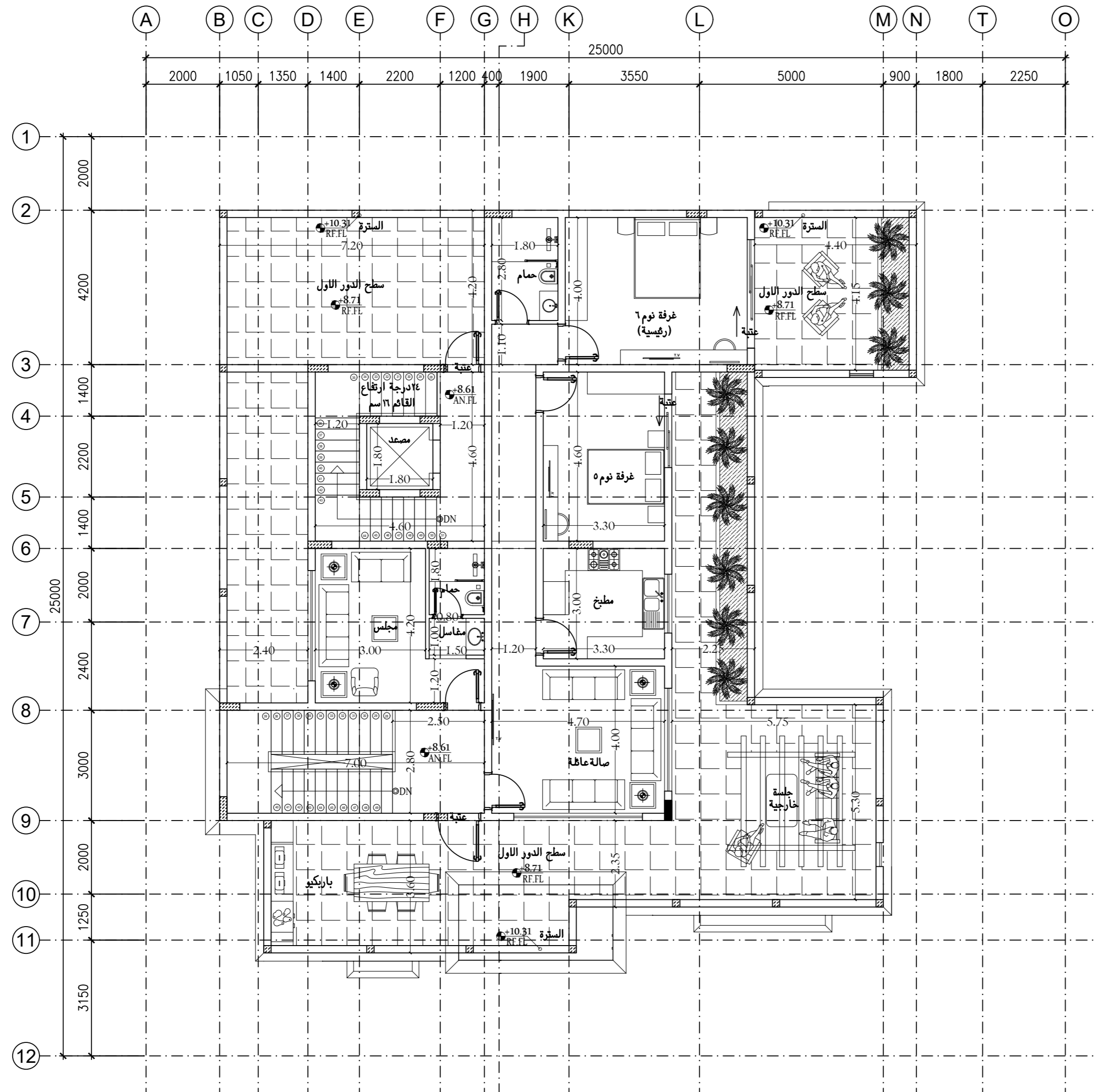
الاستشارى :
تطابق للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية
المالك : محمد العنزي
الموقع : الرياض
القسم : مخططات أنشائية

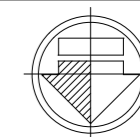
اللوحه : The columns are signed by the architect 003

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر/ ٢٠٢٣
رقم اللوحه	STR-005



C ROOF FLOOR FRAMING PLAN
STR-003 1:100





NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

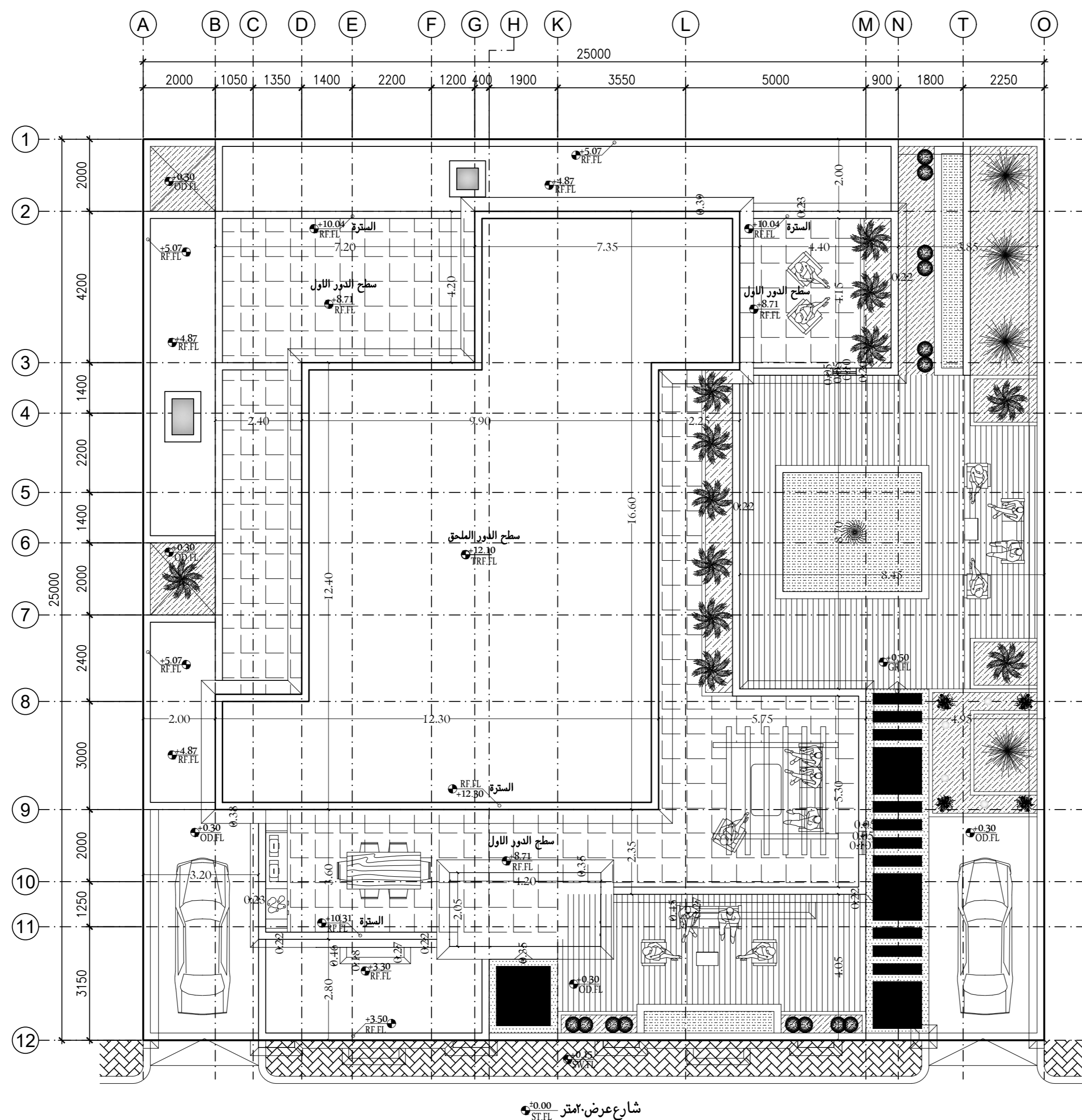
المالك : محمد العنزي

الموقع : الرياض

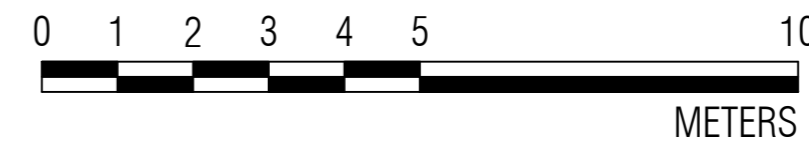
القسم : مخططات أنشائية

اللوحه : The columns are signed by the architect 004

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر/ ٢٠٢٣
رقم اللوحه	STR-006



D TOP ROOF FLOOR FRAMING PLAN
STR-004 1:100



GENERAL NOTES

I GENERAL:

DESIGN CONFORMING TO THE AD 318, INTERNATIONAL BUILDING CODE - SAUDI BUILDING CODE SBC-301 THE DESIGN CONDITIONS STATED BELOW (SOIL CAPACITY AND CONDITIONS, LATERAL LOAD, ETC.) ARE GENERIC. DRAWINGS ARE FOR THE PURPOSE OF OBTAINING QUANTITY FOR TENDERING ONLY CONTRACTOR SHALL COMPLY WITH THE CONTRACT REGARDING DESIGN VERIFICATION AND COMPLETING THE MISSING ALL NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS AND GOVERN UNLESS OTHERWISE SHOWN OR SPECIFIED.

UNLESS OTHERWISE SHOWN, ALL DIMENSIONS ARE IN MILLIMETERS. ALL ELEVATIONS ARE IN METERS.

CONTRACTOR MUST CHECK WITH ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR INSERTS, SLEEVES, BLOCKOUTS, DOOR AND WINDOW OPENINGS, SIZE AND LOCATION OF OPENINGS IN SLABS AND CONCRETE WALLS, LOCATION OF CMU WALLS AND EQUIPMENT CONCRETE PADS.

II FOUNDATION:

FOUNDATION DESIGN IS BASED ON SOIL REPORT RECOMMENDATION SOIL ALLOWABLE NET BEARING CAPACITY = 150 Kpa FOUNDATION DEPTH = 1.50 M PORTLAND CEMENT TYPE - V

OVER EXCAVATED AREAS UNDER FOOTING MUST BE BACKFILLED WITH BLINDING CONCRETE.

ALL ENGINEERED FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFICATION.

ALL CONCRETE SURFACES IN DIRECT CONTACT WITH THE SOIL ARE TO BE PROTECTED WITH TWO COATS OF BITUMINOUS AS PER THE SPECIFICATION AND GEOTECHNICAL REPORT UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL UNDERGO PROBING TO LOCATE PRESENCE OF SOIL CAVITIES PARTICULARLY UNDER HEAVILY LOADED COLUMNS AND WALLS, AND SHALL EXECUTE THE NECESSARY REMEDIAL MEASURE.

FOR SLAB ON GRADE, REMOVE 500 mm OF SOIL FROM THE BUILDING FOOTPRINT AREA AND REPLACE WITH STRUCTURAL FILL MATERIAL AS PER THE SPECIFICATION AND GEOTECHNICAL REPORT

III CONCRETE:

CONCRETE MINIMUM ULTIMATE CYLINDER COMPRESSIVE STRENGTHS AT 28 DAYS SHALL BE:

f'c = 35 MPa a) FOUNDATION

f'c = 32 MPa a) COLUMNS AND R.C WALLS b) FLOOR AND ROOF SLABS, BEAMS GIRDERS AND PRECAST ELEMENTS.

f'c = 20 MPa a) BLINDING CONCRETE.

CEMENT TYPE FOR ALL ELEMENTS CONTACT WITH GROUND SHALL BE DETERMINED AS PER RECOMMENDATION OF GEOTECHNICAL SOIL REPORT

FOR ALL OTHER CONCRETE, NOT IN CONTACT WITH GROUND, TYPE I CEMENT SHALL BE USED. CONCRETE MIXTURES WITH MICROSILICA MUST BE PROPORTIONED AND PRODUCED AS PER SPECIFICATION AND/OR APPROVED BY THE ENGINEER. COAT ALL EXTERNAL CONCRETE SURFACES IN CONTACT WITH THE EARTH WITH TWO LAYERS OF BITUMINOUS PAINT. FOR BASEMENT SLAB AND WALLS, TWO LAYERS OF MEMBRANE SHOULD BE USED

AGGREGATE SIZE SHALL BE AS FOLLOWS:

20mm MAX. SUSPENDED SLABS, BEAMS, GIRDERS, WALLS, COLUMNS AND PRECAST ELEMENTS. 40mm MAX. FOOTINGS, THICKENED SLABS AND SLABS ON GRADE.

MINIMUM CONCRETE COVER FOR REINFORCING BARS SHALL BE NOT LESS THAN:

75mm UNFORMED CONCRETE DEPOSITED AGAINST GROUND. 50mm FORMED CONCRETE AGAINST GROUND OR EXPOSED TO WEATHER. 40mm TIES, STIRRUPS AND SPIRALS OF BEAMS AND COLUMNS & WALLS NOT EXPOSED TO GROUND OR WEATHER. SLABS NOT EXPOSED TO GROUND OR TO WEATHER. 25mm

ALL REINFORCING STEEL DOWELS, ANCHOR BOLTS AND OTHER INSERTS SHALL BE SECURED IN POSITION PRIOR TO POURING CONCRETE.

CONCRETE CYLINDER SHALL BE TAKEN FOR EACH DAY'S POUR FOR INITIAL 20 M3 (ONE SET OF 6 CYLINDERS) AND ADDITIONAL SET FOR EACH ADDITIONAL 40 M3 THEREOF, CAST IN ACCORDANCE WITH ASTM C31 AND TESTED IN ACCORDANCE WITH ASTM C39.

ALL PRECAST CONNECTION AND LIFTING DEVICES SHALL BE DESIGNED BY PRECAST FABRICATOR TO CONFORM TO PCI STANDARD.

IV REINFORCING STEEL:

ASTM A615 GRADE 60 DEFORMED BARS (fy = 420 MPa) MAIN REINFORCEMENT OF BEAMS, COLUMNS, SUSPENDED SLABS, STAIRS, WALLS AND FOUNDATION.

ASTM A615 GRADE 60 DEFORMED BARS (fy = 420 MPa) STIRRUPS, COLUMN TIES AND SPIRALS.

ASTM A185 OR BS 4483 WELDED WIRE FABRIC (fy = 500 MPa) SLABS ON GRADE.

ALL BARS SHALL BE BENT COLD UNLESS OTHERWISE PERMITTED BY THE STRUCTURAL ENGINEER.

THE MINIMUM LAP LENGTH ARE SHOWN ON THE MINIMUM EMBEDMENT AND LAP SPLICE TABLE.

ALL REINFORCING BARS SHALL BE SUPPORTED IN CONFORMANCE WITH THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURE (ACI 315 LATEST EDITION).

V MASONRY:

NON-LOAD BEARING CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C129 TYPE CONCRETE MASONRY UNITS TO PROVIDE MASONRY WITH fm = 5 MPa, MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS.

VERTICAL REINFORCEMENT SHALL CONFORM TO ASTM A 615, GRADE 60 DEFORMED BARS (fy = 415 MPa).

HORIZONTAL REINFORCEMENT SHALL BE GALVANIZED 2 #4 TRUSS TYPE # 400 OR APPROVED EQUAL.

MORTAR TO BE TYPE "N" OR "O" IN ACCORDANCE WITH ASTM C 270. COMPRESSIVE STRENGTH TO MATCH THAT OF THE MASONRY UNIT.

SPACING OF CONTROL JOINTS IN CMU WALLS TO BE 6.00m. MAX.

VI STRUCTURAL STEEL:

STRUCTURAL AND MISCELLANEOUS STEEL SHALL CONFORM TO ASTM A 36 (fy = 250 MPa) AND SHALL BE FABRICATED IN ACCORDANCE WITH THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING.

ALL CONNECTION BOLTS SHALL CONFORM TO ASTM A 325. ANCHOR BOLTS, AND RODS SHALL CONFORM TO ASTM A 307 UNLESS OTHERWISE NOTED AND PROVIDED WITH HEXAGONAL NUTS AND WASHERS.

ALL STEEL SECTIONS SHALL BE DESIGNATED AS FOLLOWS:

PLATE: PL 3/8" x 12" x 16" (10 x 300 x 400) BAR: 3/4" (20#) ANGLE: L 6" x 4" x 1/4" (L 150 x 100 x 6) CHANNEL: C 6" x 8.2 (C 150 x 13 Kg/m) S SHAPE: S 15 x 50 (S 380 x 75 Kg/m) W SHAPE: W 16 x 40 (W 400 x 59.6 Kg/m) WELDING ELECTRODES SHALL BE ASTM E 70 - XX LOW HYDROGEN.

ALL WELDS SHALL CONFORM TO AWS A 5.1 AND D 1.1 STRUCTURAL WELDING CODE.

ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS.

ALL STEEL CONNECTION SHOWN ON THE DRAWINGS ARE SCHEMATIC ONLY. FABRICATOR SHALL DESIGN ALL STEEL CONNECTION TO CONFORM TO AISC SPECIFICATION.

VII CONSTRUCTION JOINTS AND CONTROL JOINTS:

SURFACE OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED.

IMMEDIATELY BEFORE NEW CONCRETE IS PLACED, ALL CONSTRUCTION JOINTS SHALL BE WETTED AND STANDING WATER REMOVED.

CONSTRUCTION JOINTS IN FLOOR SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF SPANS OF SLABS, BEAMS AND GIRDERS. JOINTS IN GIRDERS SHALL BE OFFSET A MINIMUM DISTANCE OF TWO TIMES THE WIDTH OF INTERSECTING BEAMS.

BEAMS, GIRDERS AND HAUNCHES SHALL BE PLACED MONOLITHICALLY AS PART OF A SLAB SYSTEM, UNLESS OTHERWISE SHOWN IN DESIGN DRAWINGS OR SPECIFICATIONS.

BEAMS, GIRDERS OR SLABS SUPPORTED BY COLUMNS OR WALLS SHALL NOT BE CAST OR ERECTED UNTIL CONCRETE IN VERTICAL SUPPORT MEMBERS IS NO LONGER PLASTIC.

CONTROL JOINTS IN SLAB ON GRADE SHALL BE SPACED AT 6.00 METERS (MAX.) INTERVAL ON BOTH DIRECTIONS. THE RESULTING PANEL SHOULD BE APPROXIMATELY SQUARE.

IN WALLS HAVING FREQUENT OPENINGS, SPACING OF CONTROL JOINTS 6.00 METERS APART IS CONSIDERED MAXIMUM. THE SPACING IN WALLS WITHOUT WINDOWS SHOULD NOT BE MORE THAN 7.50 METERS AND A JOINT WITHIN 3.00 METERS OF EACH CORNER IS DESIRABLE.

VERTICAL CONSTRUCTION JOINT SPACING IN WALLS SHALL NOT BE MORE THAN 12.00 METERS AND LOCATED WITHIN THE MIDDLE THIRD OF THE SPAN BETWEEN COLUMNS.

VIII DEAD LOADS:

Table listing dead loads: UNIT WEIGHT OF CONCRETE (25.00 KN/m3), SCREED & FINISH (0.24 KN/m2), CEILING (0.35 KN/m2), MECHANICAL AND ELECTRICAL UTILITIES (0.35 KN/m2), CMU WALL 200 THK. NON-LOAD BEARING (4.00 KN/m2), 50 THK. RIGID INSULATION (0.15 KN/m2), 3 PLY MEMBRANE WATERPROOFING (0.15 KN/m2), 40 THK. CONCRETE PAVERS (0.96 KN/m2), MARBLE FLOORING PLUS SOREED (1.44 KN/m2).

IX LIVE LOADS:

Table listing live loads: OFFICE: GENERAL USE (2.50 KN/m2), STORAGE SPACES (5.00 KN/m2), COMPUTER ROOMS (5.00 KN/m2), STAIRWAYS (5.00 KN/m2), LOBBIES AND CORRIDORS (5.00 KN/m2), PRIVATE ROOMS AND RESIDENTIAL (2.00 KN/m2), PUBLIC ROOMS (5.00 KN/m2), LAUNDRIES (5.00 KN/m2), ROOF: ACCESSIBLE (2.00 KN/m2), INACCESSIBLE (1.00 KN/m2), HVAC EQUIPMENT WITH CONCRETE PAD OR ACTUAL EQUIPMENT WEIGHT (5.00 KN/m2).

X LATERAL LOADS:

Table listing lateral loads: WIND (116.3 MPH & EXPOSURE (B) RIYADH (PER ASCE05-7/IBC/SBC-301)), SEISMIC (SDC=A, Ss=0.05, S1= 0.01& STIFF SOIL PROFILE (C) AS PER SBC-301 (SAUDI BUILDING CODE))

Table: MINIMUM DEVELOPMENT AND SPLICE LENGTHS (mm). Columns include Bar Size (mm), Tension (Development Length, Hook Length, Class A Splice, Class B Splice), Top Bars (Min. of 300mm Concrete Cast Below), and Compression (Development Length, Compression Splice). Includes diagrams for straight embedment, hook, and splice types.

Table: MINIMUM REINFORCEMENT OF CONCRETE WALLS. Columns include Wall Thickness, Horizontal Reinforcement, Vertical Reinforcement, Remarks, and Vertical Section. Includes diagrams for wall cross-sections.

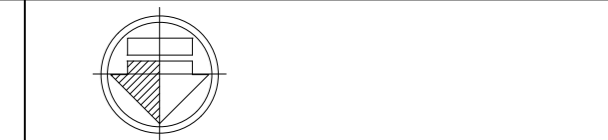
Table: SCHEDULE OF MINIMUM SLAB REINFORCEMENT. Columns include Thickness, Minimum Temperature and Shrinkage Reinforcement Bars, and Remarks. Includes diagrams for slab reinforcement details.

Table: SCHEDULE OF CONCRETE HOLLOW BLOCKS REINFORCEMENT. Columns include Block Thickness, Horizontal Reinforcement, and Vertical Reinforcement.

XI ABBREVIATIONS AND SYMBOLS:

Table listing abbreviations and symbols: & (AND), L (ANGLE), @ (AT), AR, ARCH. (ARCHITECT OR ARCHITECTURAL), CL, CTR. (CENTERLINE), D, DIA. # (DIAMETER), > (GREATER THAN), #, NO. (NUMBER), ADJ. (ADJACENT), ANCH. (ANCHORAGE), B (BEAM), BLDG. (BUILDING), BLKG. (BLOCKING), BLK. (BLOCK), BOT. (BOTTOM), BT. (BOLTS), BSMT. (BASEMENT), C, COL. (COLUMN), CB (CANTILEVER BEAM), CHAM. (CHAMFER), CLR. (CLEAR), CMU (CONCRETE MASONRY UNIT), CIR. (CIRCLE), CL. (CLEARANCE), CONC. (CONCRETE), CONC. BLK. (CONCRETE BLOCK), CONN. (CONNECTION), CONST. (CONSTRUCTION), CONST. JT. (CONSTRUCTION JOINT), CONT. (CONTINUOUS), DET. (DETAIL), DO (DITTO), DIM. (DIMENSION), DISC. (DISCONTINUOUS), D.P. (DAMP PROOFING), DN. (DOWN), DR (DRAIN), DWG. (DRAWING), EA. (EACH), E.F. (EACH FACE), EL. (ELEVATION (ABOVE DATUM))

Table: ELEV. (ELEVATION (VIEW)), ELEV.R (ELEVATOR), EQPT. (EQUIPMENT), EQUIV. (EQUIVALENT), EACH WAY (EACH WAY), EXIST. (EXISTING), EXP. JT. (EXPANSION JOINT), EXTR. (EXTERIOR), EXT. (EXTERNAL), F. FTG. (FOOTING), F.B. (FOOTING BEAM), FDN. (FOUNDATION), F.G.L. (FINISH GRADE LEVEL), FIN. (FINISH), F.L. (FLOOR LEVEL), FLR. (FLOOR), G (GRADE), GR (GRADE), GRD. FLR. (GROUND FLOOR), GB (GRADE BEAM), GRD. (GROUND), G.W. (GROUND WALL), H, HGT. (HEIGHT), HEX. (HEXAGON), HOLL. (HOLLOW), HOR. (HORIZONTAL), H.P. (HIGH POINT), INS. (INSULATION), INSTU (CAST-IN-PLACE), INTER. (INTERMEDIATE), INTR. (INTERIOR), L (LENGTH), L.B. (LINTEL BEAM), LG. (LONG), MANUF. (MANUFACTURER), MATL. (MATERIAL), MAX. (MAXIMUM), MEZZ. (MEZZANINE), MEMB. (MEMBRANE), MET. (METAL), MIN. (MINIMUM), MISC. (MISCELLANEOUS), M.J. (MASTIC JOINT), M.O. (MASONRY OPENING), MWP (MEMBRANE WATER PROOFING), M.W.R. (MINIMUM WALL REINFORCEMENT), NIC (NOT IN CONTRACT), N.T.S. (NOT TO SCALE), NOM. (NOMINAL), ON CENTER (ON CENTER), OVER ALL (OVER ALL), OPNG. (OPENING), OPP. (OPPOSITE), ORIG. (ORIGINAL), PC (PRECAST), PEJ (PREMOULDED EXPANSION JOINT), PL. (PLATE), PTB (POST TENSIONED BEAM), R (RADIUS), RB (ROOF BEAM), RC (REINFORCED CONCRETE), RCW (REINFORCED CONCRETE WALL), RCWF (REINFORCED CONCRETE WALL FOOTING), RFG. (ROOFING), REV. (REVERSE), REF. (REFERENCE), REINF. (REINFORCE, REINFORCING), RG (ROOF GIRDER), REQ'D. (REQUIRED), ROOF SLAB (ROOF SLAB), RS (SLAB), S (SCHEDULE), SCHED. (SCHEDULE), SECT. (SECTION), SF (STRIP FOOTING), SH. (SHEET), SIM. (SIMILAR), ST (STANDARD), STD. (STANDARD), STIFF. (STIFFENER), STIRR. (STIRRUPS), STRUCT. (STRUCTURAL), SUPT. (SUPPORT), SUR (SURFACE), SQ. (SQUARE), SW (SHEAR WALL), SWF (SHEAR WALL FOOTING), SYMM. (SYMMETRY), TB (TIE BEAM), T.O.W.E. (TOP OF WALL ELEVATION), TEMP. (TEMPERATURE), TRD. (TREAD), THRU. (THROUGH), T.O.C. (TOP OF CONCRETE), T.O.S.S. (TOP OF STRUCTURAL SLAB), TYP. (TYPICAL), U.O.N. (UNLESS OTHERWISE NOTED), VERT. (VERTICAL), VERIF. (VERIFY), VOL. (VOLUME), WEB (WEB BAR), WFB (WELDED WIRE FABRIC, WIRE MESH), W (WIDTH), W/ (WITH), WF (WALL FOOTING), W/O (WITHOUT), W.P. (WORKING POINT), WT. (WEIGHT)



- NOTES: 1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS. 2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL. 3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION. 4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION. 5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

Table: REVISION and DATE columns with rows 0 through 5.

Logo and contact information for Tatabuq Office for Engineering Consultancy: مکتب تطابق للاستشارات الهندسية، سجل تجاري رقم: 1010626839

Logo and contact information for الاستشاري: تطابق للاستشارات الهندسية، الفرع الرئيسي الرياض طريق الملك عبدالعزيز - حي الياسمين جوال المکتب - 0574888050، الخبر طريق الملك خالد - حي البحيرة جوال المکتب - 0519888277، القصيم طريق الملك سلمان - بريدة حي الريان جوال المکتب - 0519888105، المجمعة شارع الامير نايف حي الملك عبدالله جوال المکتب - 057188884

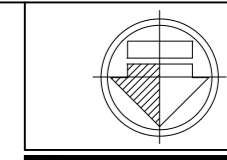
مشروع: فيلا سكنية

المالك: محمد العنزي

الموقع: الرياض

القسم: مخططات أنشائية

Table: اللوحة: GENERAL NOTES-001, تصميم: م / عبدالله السيد, مراجعة: م / حمد النضيف, اعتماد: م / حمد النضيف, مقياس الرسم: 1 - 100 التاريخ: ديسمبر / 2023, رقم اللوحة: STR-007



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
للاستشارات الهندسية
سجل تجاري رقم: 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888827
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 057188884

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات انشائية

اللوحة :	
TYPICAL DETAILS - 001	تصميم
م / عبدالله السيد	مراجعة
م / حمد النضيف	اعتماد
م / حمد النضيف	مقياس الرسم 1 - 100 التاريخ ديسمبر/ 2023
رقم اللوحة	STR-008

A TYPICAL PLAN (FOOTING)
NTS

B TYPICAL PLAN COMBINED FOOTING
NTS

C SECTION AT INTERIOR TIE BEAM (TYP)
NTS

D1 SECTION AT EXTERIOR TIE BEAM (TYP)
NTS

D2 SECTION AT EXTERIOR TIE BEAM (TYP)
NTS

E DETAIL OF JOINTS IN SLAB ON GRADE
NTS

F DETAIL OF SLAB ON GRADE
NTS

G TYP. INTR. WALL FOOTING DETAIL (FOR 200 THK. CMU)
NTS

H TYP. INTR. WALL FOOTING DETAIL (FOR 100 THK. CMU)
NTS

I TYP. EXTERIOR STAIR SECTION
NTS

J CONCRETE MASONRY UNIT NON-LOAD BEARING WALL
NTS

K CONCRETE MASONRY UNIT NON-LOAD BEARING WALL
NTS

L CONC. MASONRY UNIT CONTROL JOINT DETAIL
NTS

M VERTICAL WALL SECTION
NTS

N CONC. MASONRY UNIT WALL OPNG. WITH LINTEL BEAM
NTS

O REBARS @ WALL CORNERS & INTERSECTIONS
NTS

P VERTICAL WALL SECTION
NTS

Q REBARS @ WALL CORNERS & INTERSECTIONS
NTS

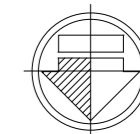
R CONCRETE WALL OPENING
NTS

S PIPE AND TRENCH LOCATION DETAIL
NTS

LINTEL BEAM SCHEDULE			
W (MM)	B (MM)	D (MM)	REINF. BARS
2000 OR LESS	200	200	4 #10
3000	200	200	4 #12

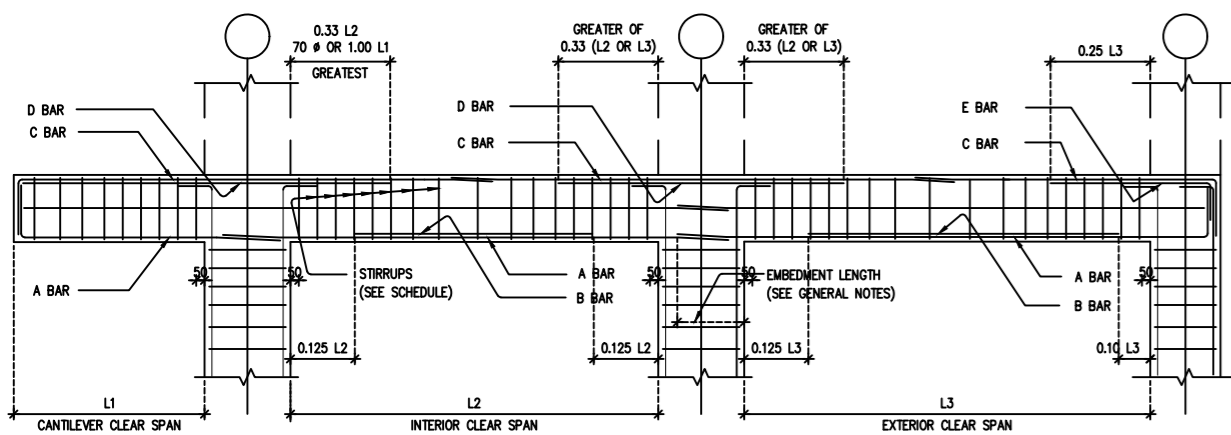
MINIMUM SLAB ON GRADE REINFORCEMENT SCHEDULE	
SLAB THICKNESS	WELDED WIRE FABRIC REINF.
100-125	A193 WWF
125-175	A252 WWF
175-250	A193 WWF (TWO LAYERS)
250-300	A252 WWF (TWO LAYERS)

NOTE: WWF ARE IN CONFORMITY WITH TO BS 4483 WHICH ARE READILY AVAILABLE IN THE KINGDOM.

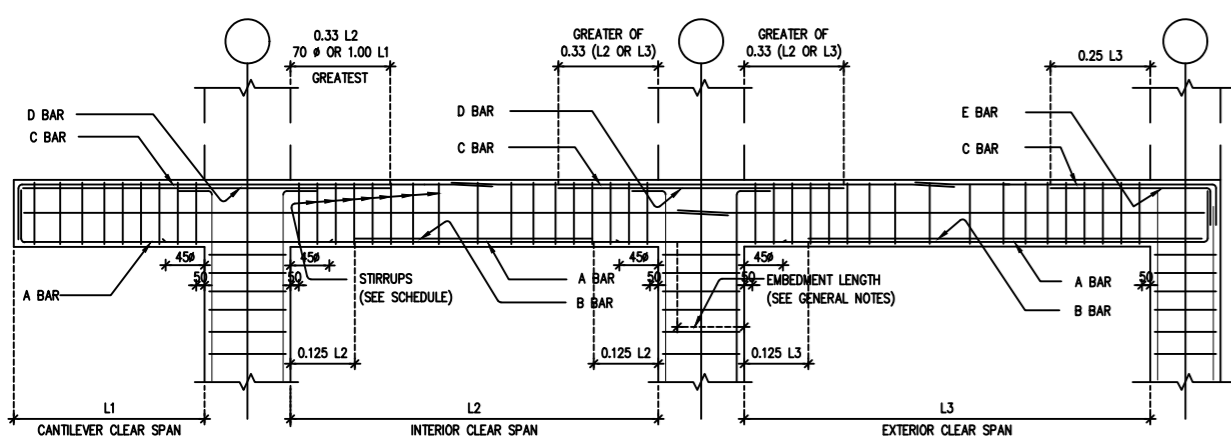


NOTES:

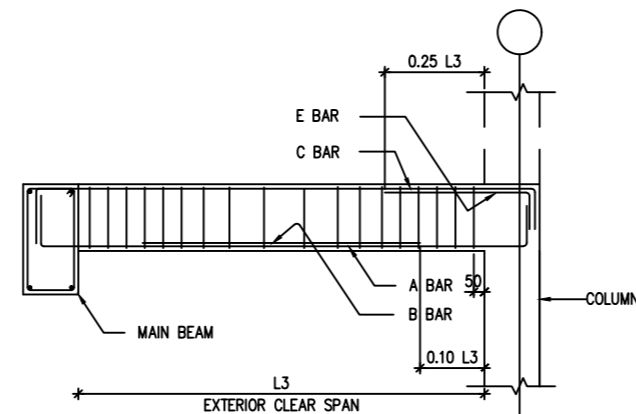
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.



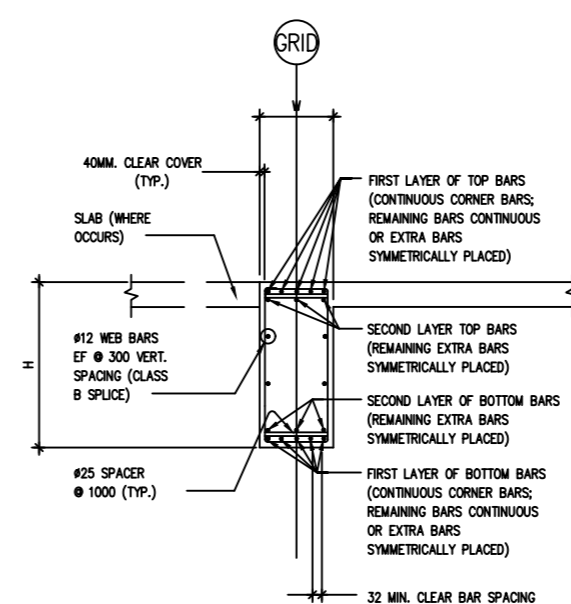
A TYPICAL BEAM LONGITUDINAL SECTION FOR SEISMIC ZONES 0 & 1



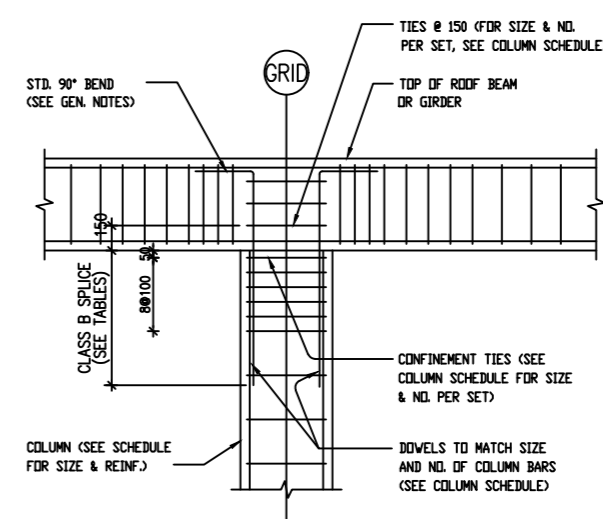
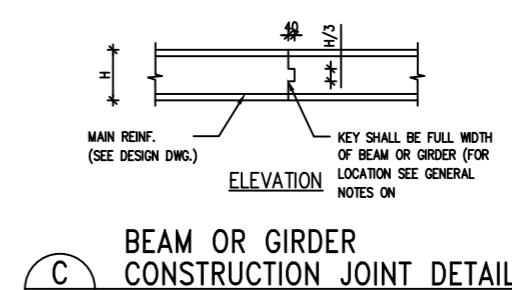
A1 TYPICAL BEAM ELEVATION FOR SEISMIC ZONE 2



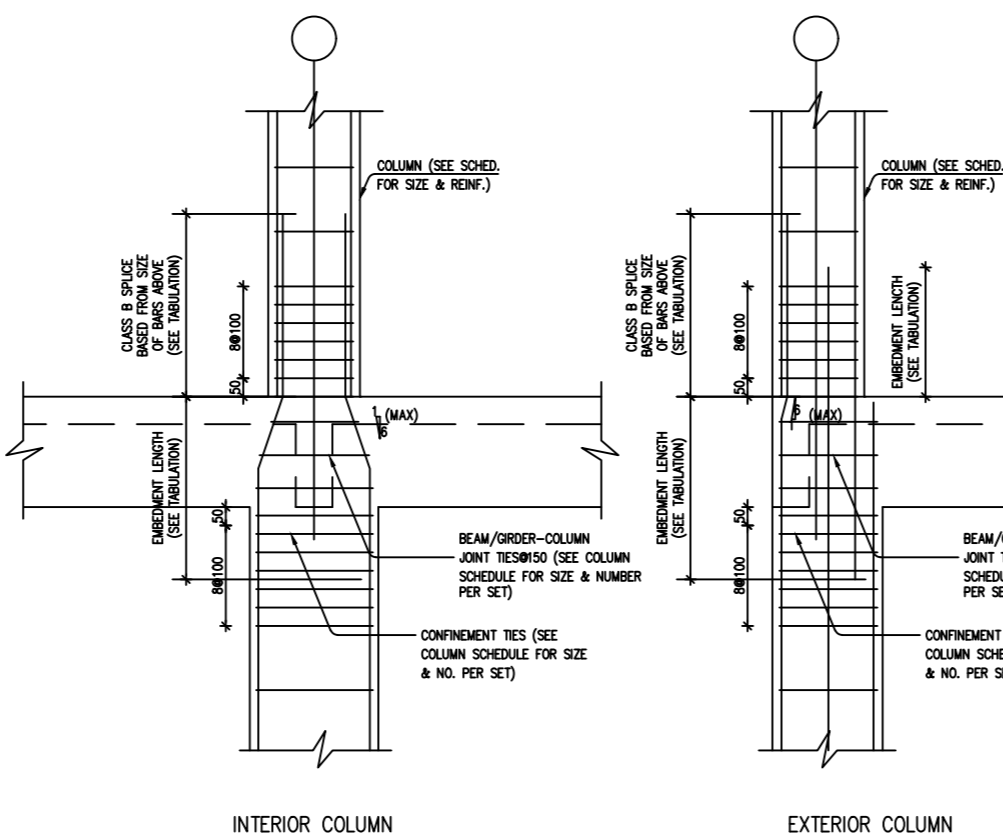
A2 TYPICAL (SIMPLY SUPPORTING)



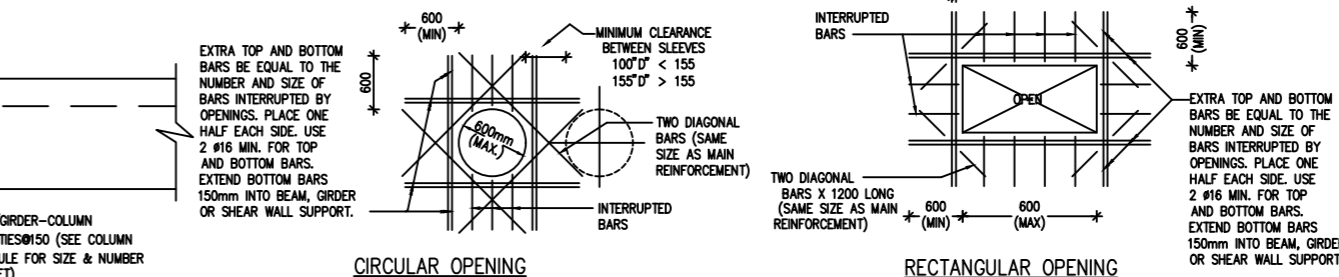
B TYPICAL CROSS - SECTION FOR A TWO ROW BAR PLACING IN A BEAM



D TYP. ROOF/GIRDER/SLAB COLUMN JOINT DETAIL



F TYPICAL COLUMN LAP SPLICE DETAIL

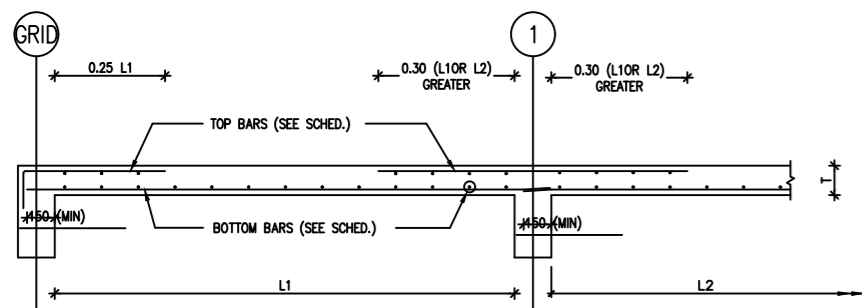


G SUSPENDED CONCRETE SLAB OPENING

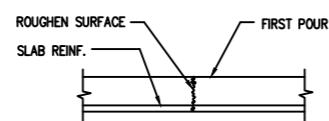
SCHEDULE OF BEAMS & GIRDERS									
MARK	SIZE		BOTTOM BARS		TOP BARS			STIRRUPS	REMARKS
	W	H	A	B	C	D	E		
B1									
B2									
B3									
B4									

CAMBER NOTES:

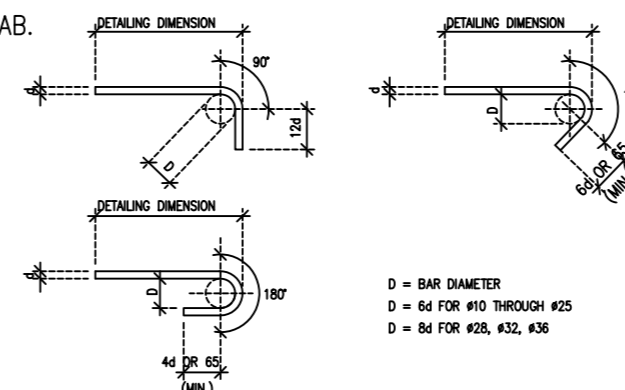
- UNLESS OTHERWISE INDICATED, PROVIDE MINIMUM CAMBER FOR BEAMS WITH SPAN IN EXCEEDING 6.00 M. AS FOLLOWS:
CONTINUOUS BEAM - 1.5 MM. PER M. OF SPAN (i.e. A 10 M. SPAN BEAM WILL HAVE 15 MM. CAMBER AT MIDSPAN).
SIMPLE BEAM - 2.0 MM. PER M. OF SPAN AT MIDSPAN.
- CANTILEVER BEAM OF ANY SPAN SHALL BE PROVIDED WITH 5.0 MM. CAMBER PER METER OF SPAN AT THE FREE END.
- THE ANTICIPATED SHORTENING AND SETTLEMENT OF FORM SUPPORTS WHILE CARRYING CONCRETE, MUST BE ADDED TO THE ABOVE VALUES OF CAMBER.



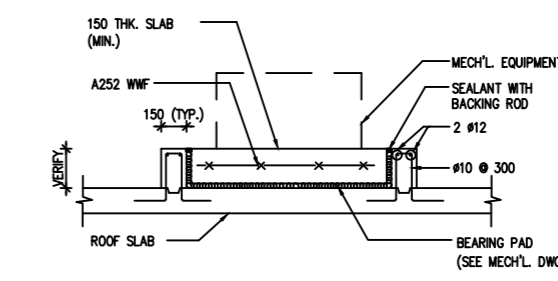
E TYPICAL SLAB ON BEAM DETAIL



H STRUCTURAL SLAB CONSTRUCTION JOINT



J STANDARD HOOK DETAIL

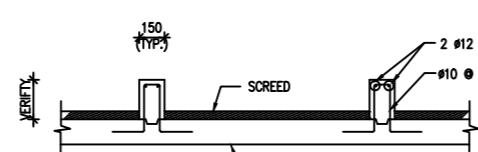


K TYP. AHU CONCRETE PAD DETAIL AT ROOF LEVEL

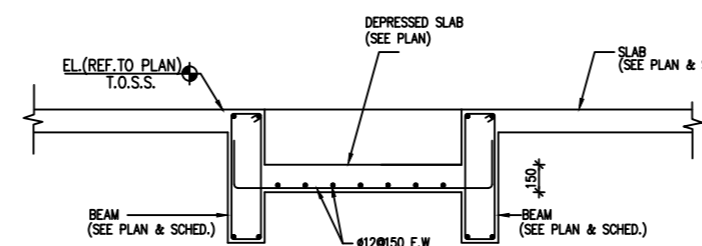
SCHEDULE OF SLABS												
MARK	THICKNESS (I)	REINFORCEMENT										REMARKS
		SHORT SPAN					LONG SPAN					
		BOTTOM BARS		TOP BARS			BOTTOM BARS		TOP BARS			
S1		SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	
S2												
S3												

NOTES:

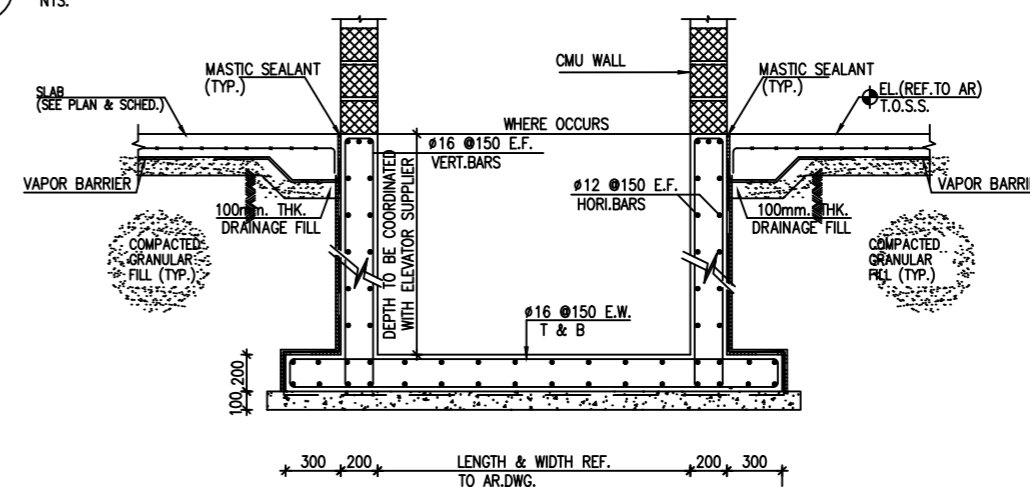
- IF THE TOP REINFORCEMENT OF TWO ADJACENT PANELS IS DIFFERENT THE HIGHER VALUE OF REINFORCEMENT IS ADOPTED OF THE TWO PANELS (E.G #10 @ 150 (520 MM2/M) ADJACENT TO #12 @ 200 (565 MM2/M) USE #12 @ 200 FOR BOTH)
- FOR SLABS WITH THICKNESS MORE THAN 150MM INTERMEDIATE AREAS NOT COVERED WITH TOP REINFORCEMENT SHALL BE REINFORCED WITH TOP SHRINKAGE REINFORCEMENT #10@200 E.W.



L TYPICAL CHILLAR MOUNTING DETAIL AT FLOOR



M LOCAL SLAB DEPRESSION FOR ORIENTAL TOILETS



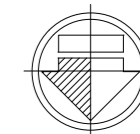
N ELEVATOR PIT (TYP.) (WHERE APPLICABLE)

مكتب تطابق
للاستشارات الهندسية
سجل تجاري رقم : 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري :
تطابق
للاستشارات الهندسية
الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888277
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888105
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 057188884

مشروع : فيلا سكنية
المالك : محمد العنزي
الموقع : الرياض
القسم : مخططات أنشائية

اللوحة : TYPICAL DETAILS - 002
تصميم : م / عبدالله السيد
مراجعة : م / حمد النضيف
اعتماد : م / حمد النضيف
مقياس الرسم : 1 - 100 التاريخ ديسمبر / 2023
رقم اللوحة : STR-009



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
 للاستشارات الهندسية
 سجل تجاري رقم: 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري:
تطابق
 للاستشارات الهندسية

الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسمين
 جوال المكتب - 0574888805
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - 0519888277
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - 0519888805
 المجمعة شارع الأمير نايف حي الملك عبدالله
 جوال المكتب - 057188884

مشروع: فيلا سكنية

المالك: محمد العنزي

الموقع: الرياض

القسم: مخططات أنشائية

اللوحة: TYPICAL DETAILS - 003

تصميم: م / عبدالله السيد

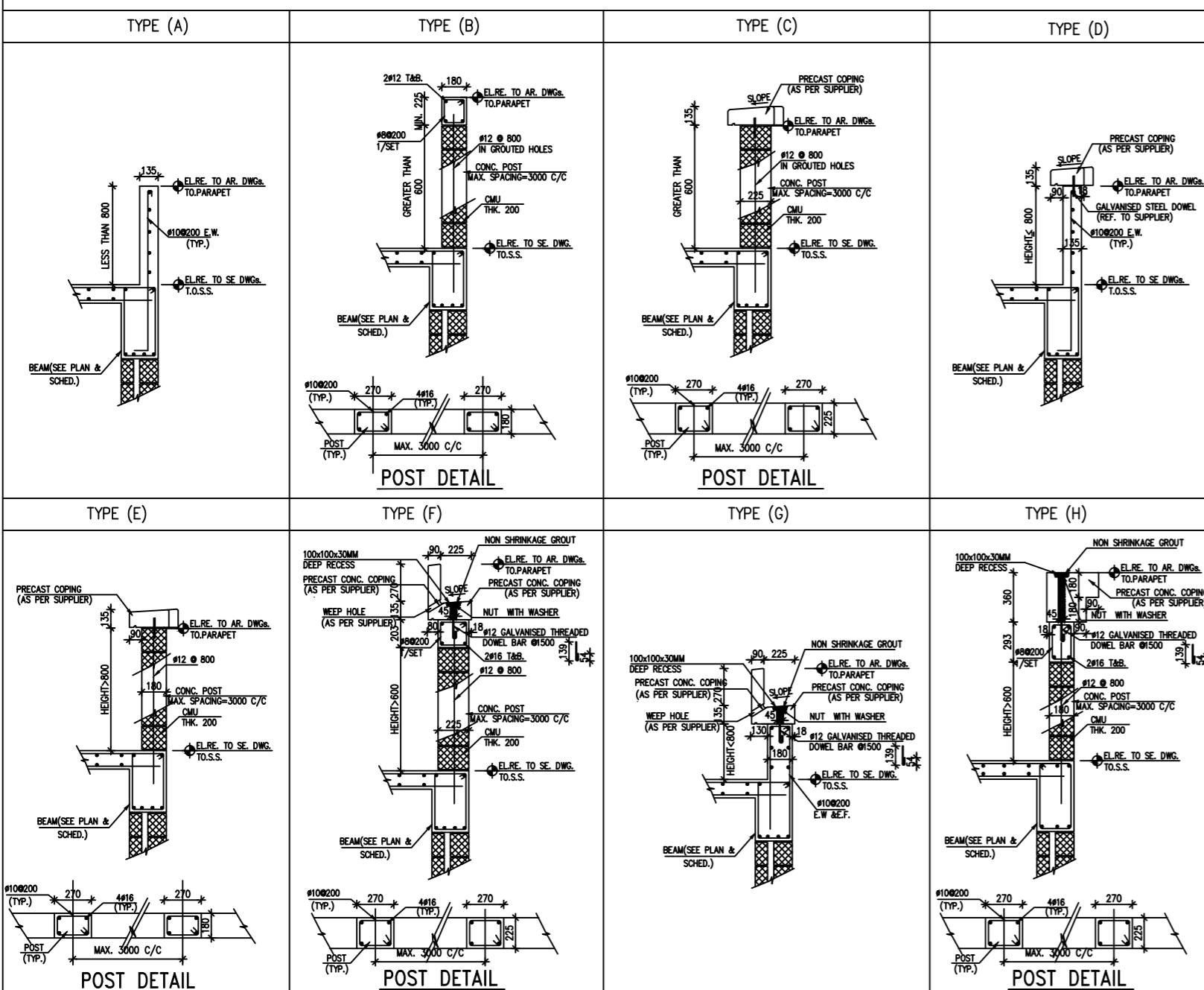
مراجعة: م / حمد النضيف

اعتماد: م / حمد النضيف

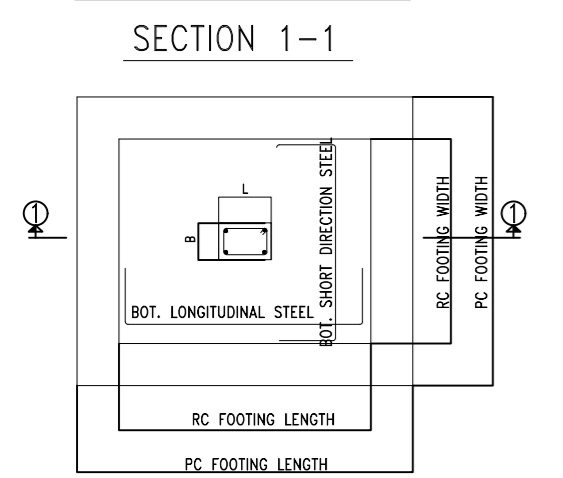
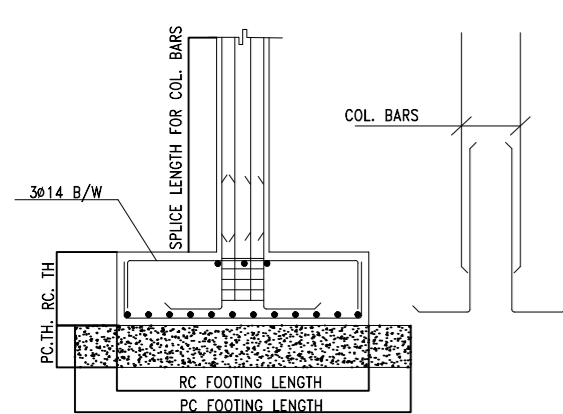
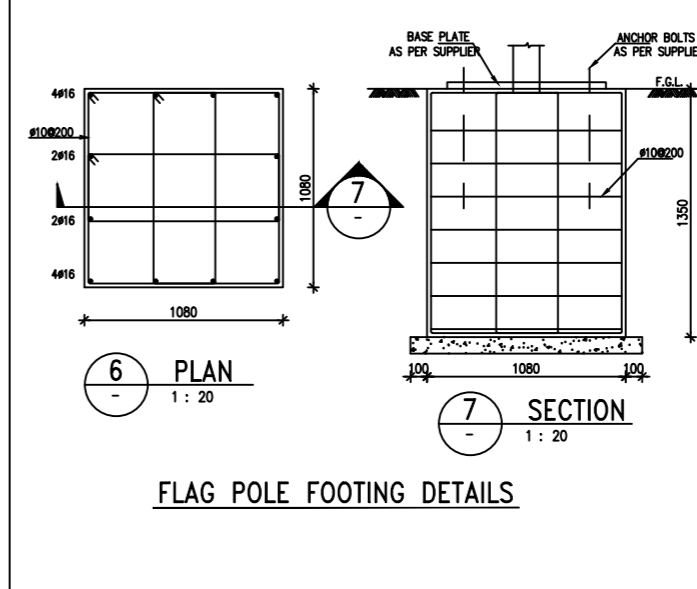
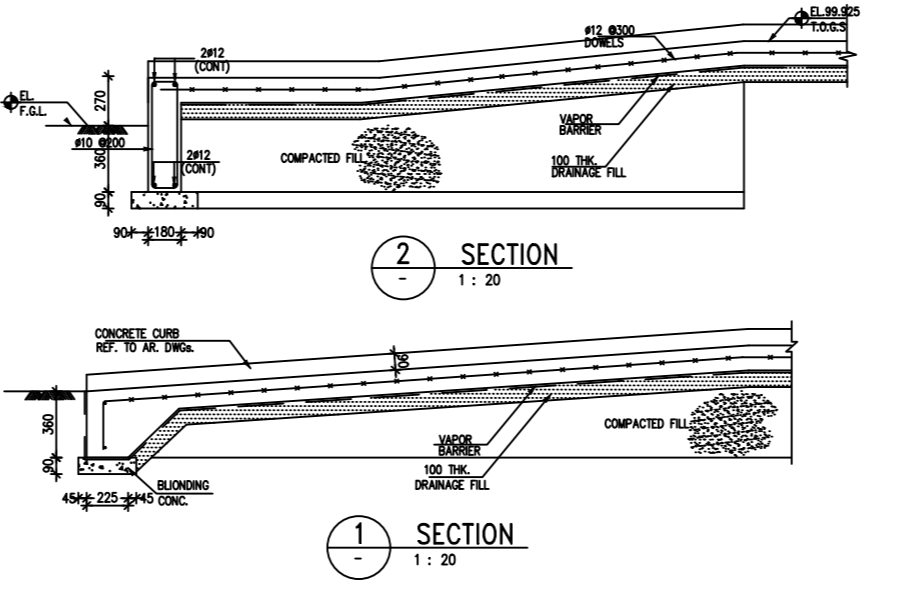
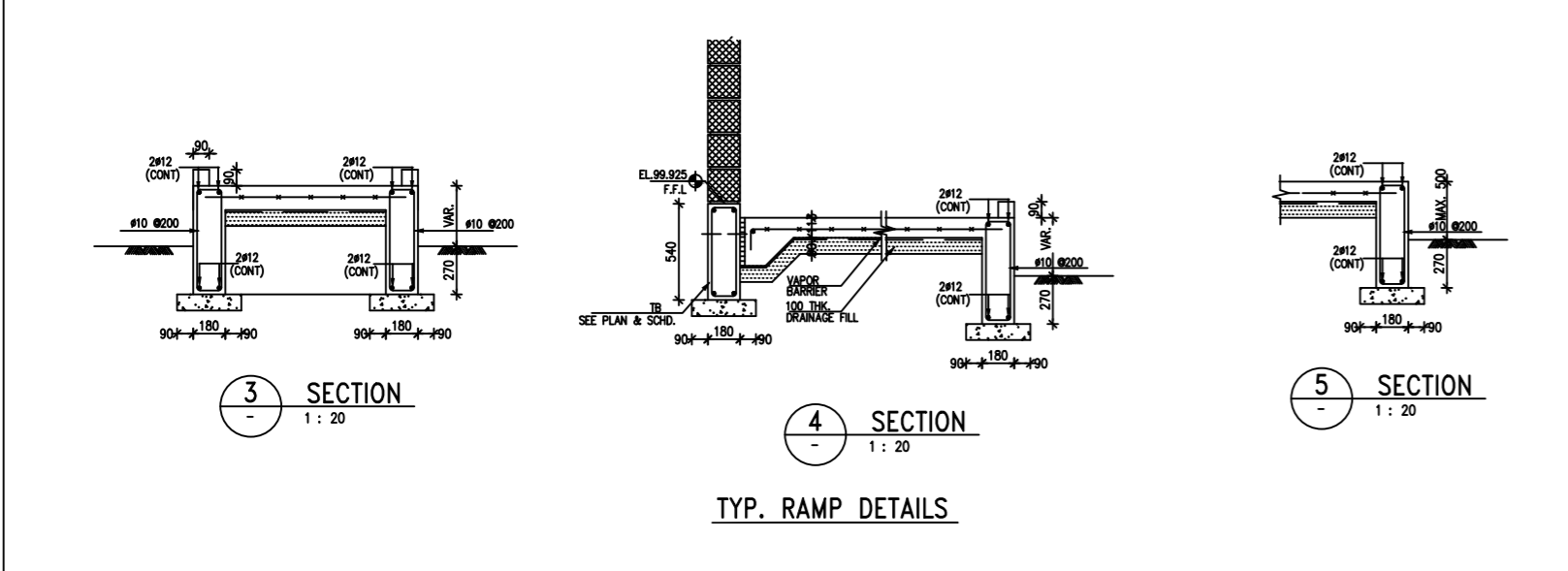
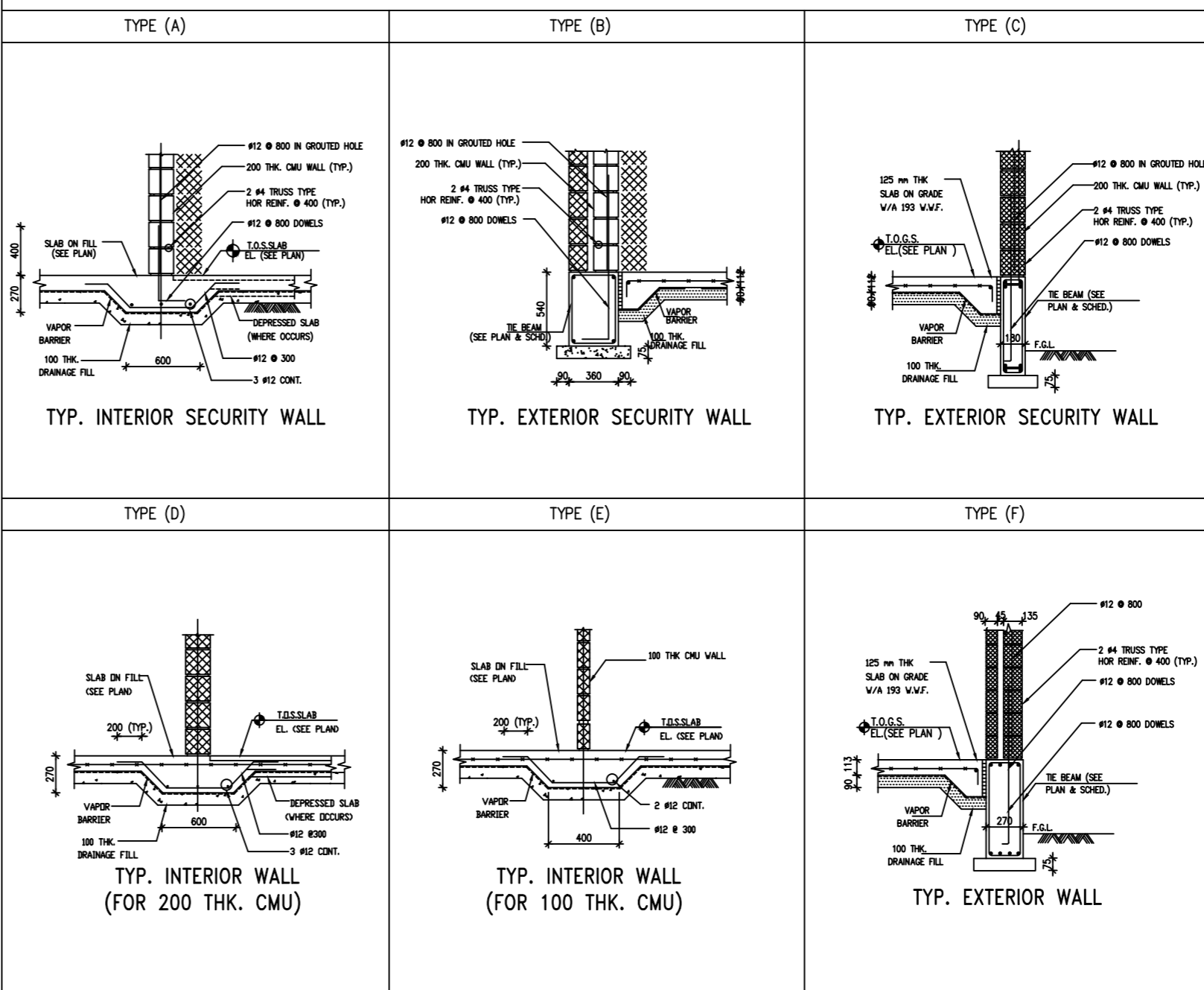
مقياس الرسم: 1 : 100 التاريخ: ديسمبر/ 2023

رقم اللوحة: STR-010

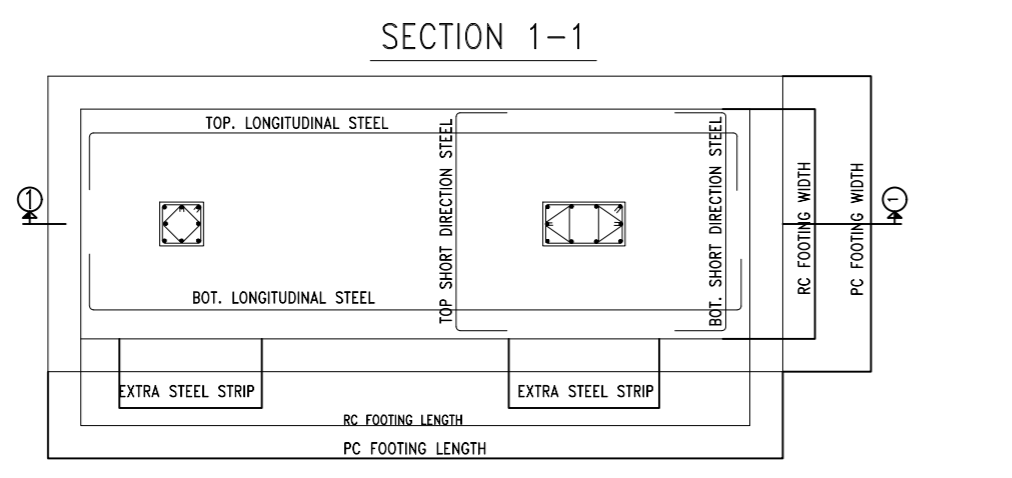
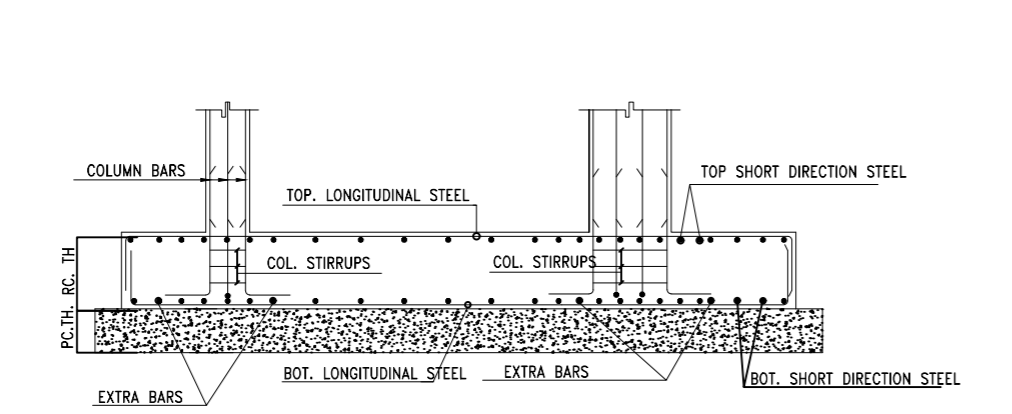
TYPICAL PARAPETS



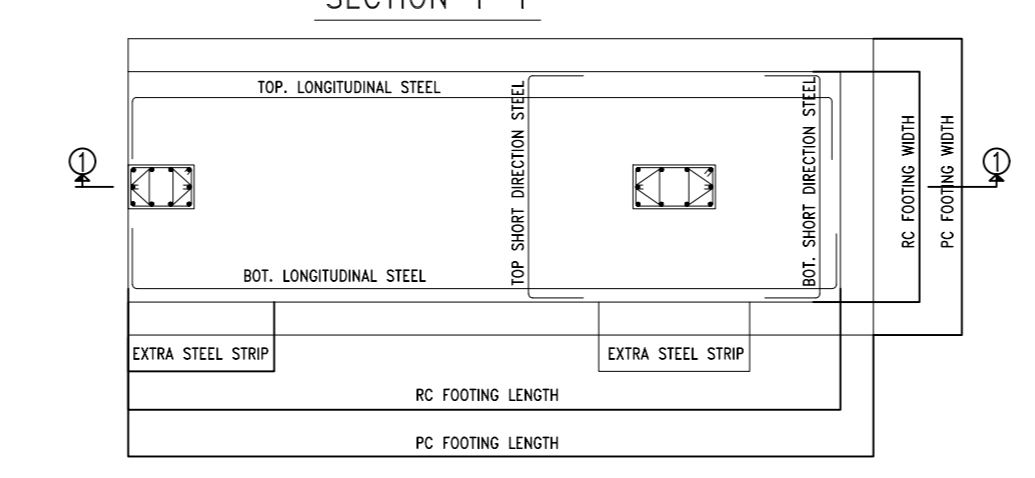
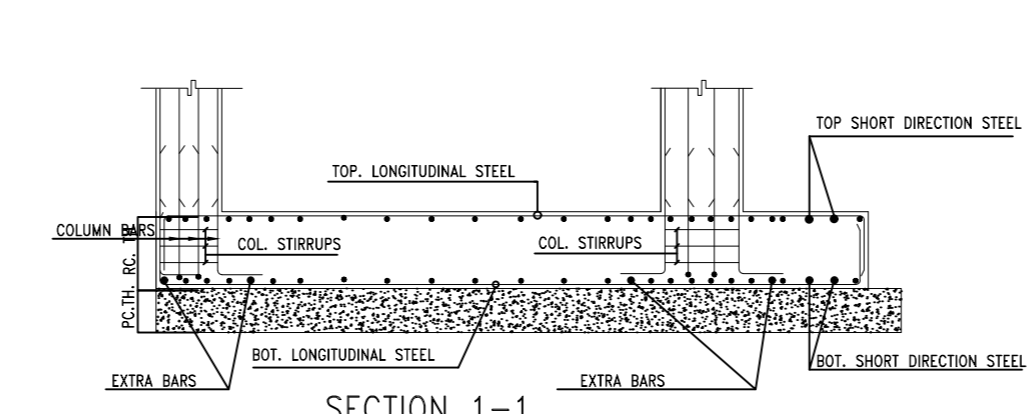
TYPICAL WALLS DETAILS



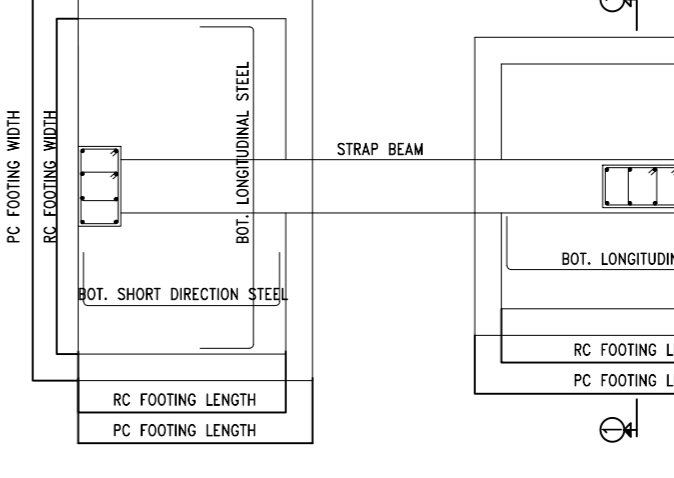
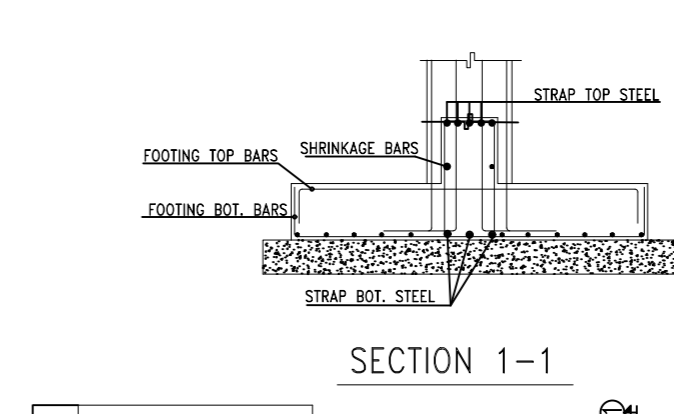
SECTION OF ISOLATED FOOTING



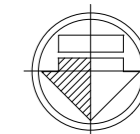
SECTION OF COMBINED FOOTING (INTERNAL COL.)



SECTION OF COMBINED FOOTING (EDGE COL.)



SECTION OF FOOTING WITH STRAP BEAM



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
 للاستشارات الهندسية
 سجل تجاري رقم : 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري :
تطابق
 للاستشارات الهندسية

الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسمين
 جوال المكتب - 0574888805
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - 0519888277
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - 0519888805
 المجمعة شارع الامير نايف حي الملك عبدالله
 جوال المكتب - 057188884

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : TYPICAL DETAILS - 004

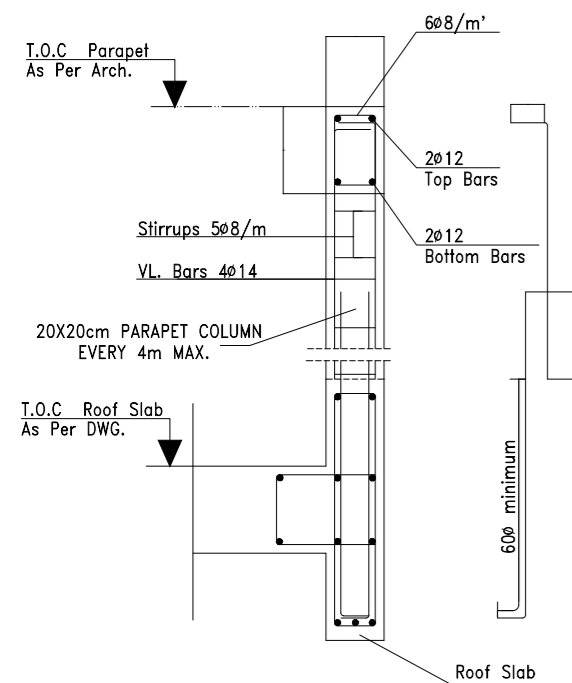
تصميم : م / عبدالله السيد

مراجعة : م / حمد النضيف

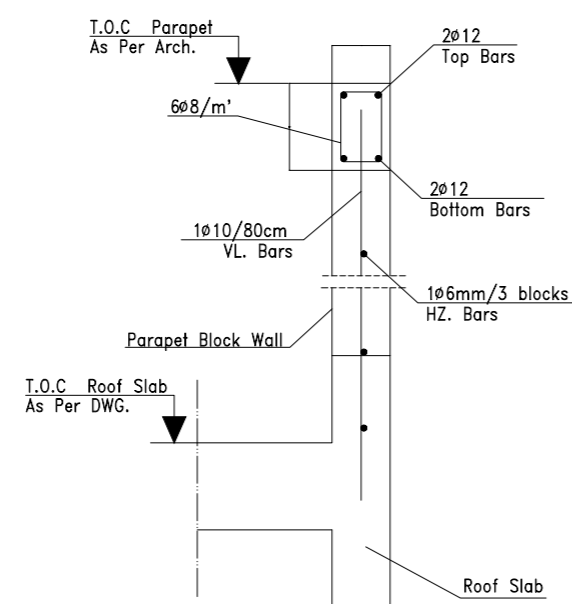
اعتماد : م / حمد النضيف

مقياس الرسم : 1 - 100 التاريخ ديسمبر / 2023

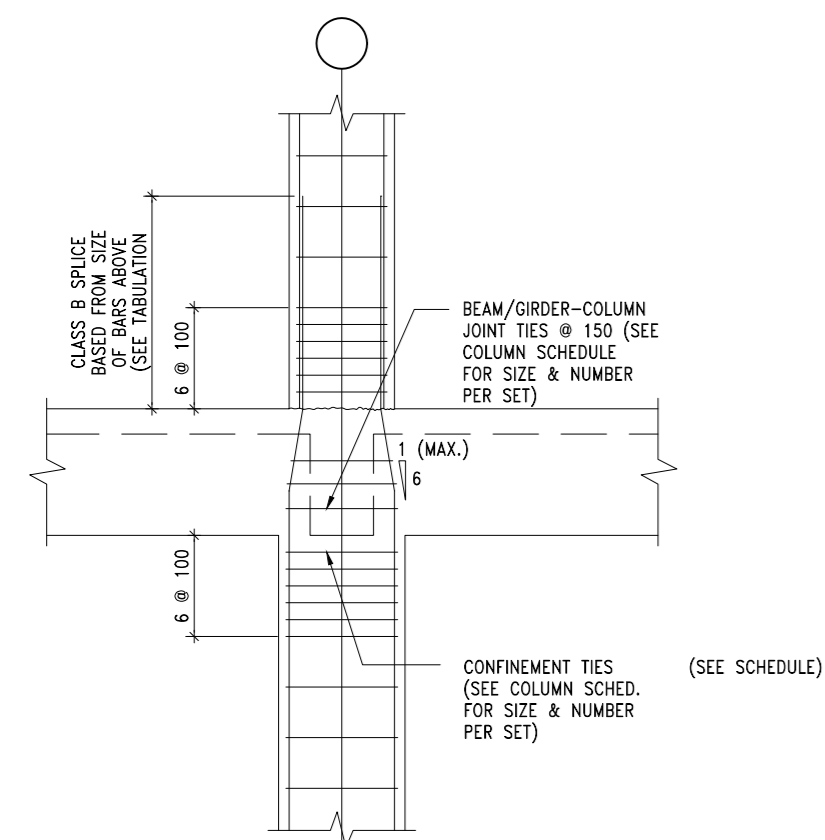
رقم اللوحة : STR-011



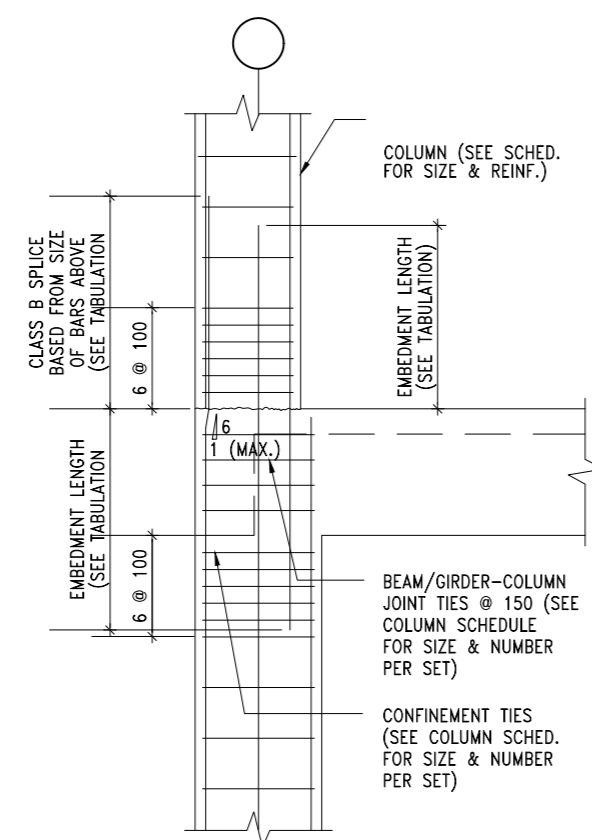
Typical Detail for Parapet Column



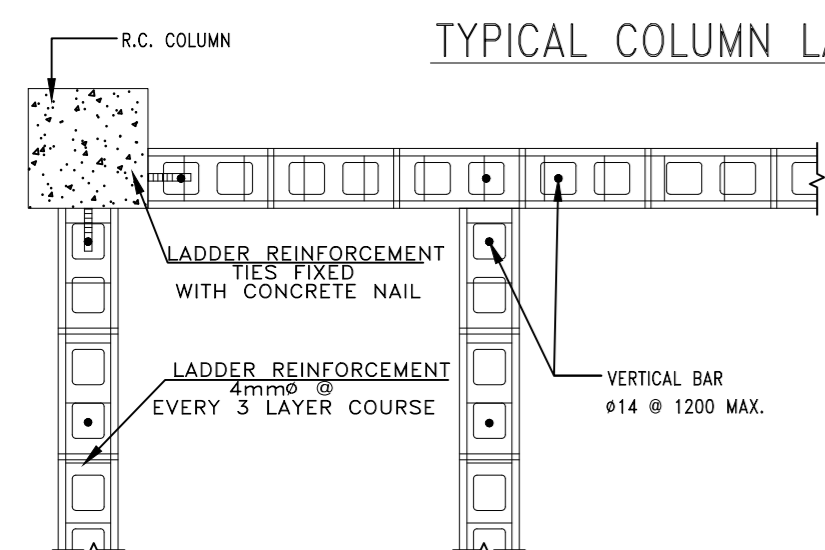
Typical Detail for Parapet Top Beam at Wall Location



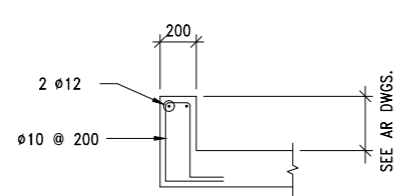
INTERIOR COLUMN



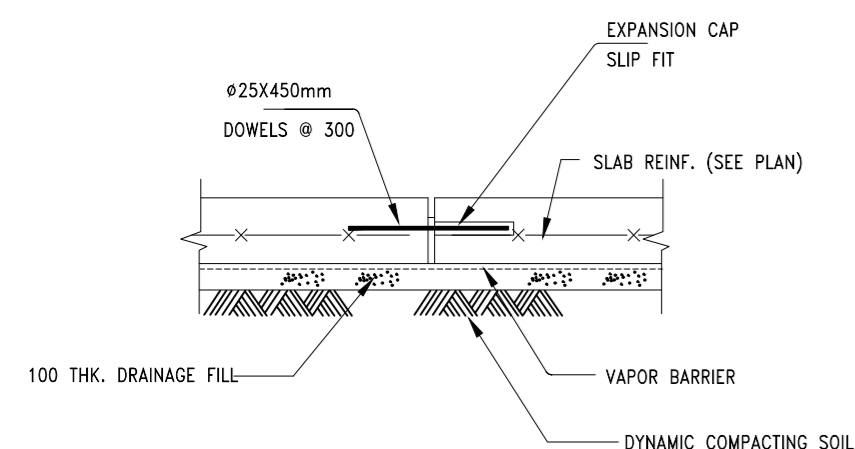
EXTERIOR COLUMN



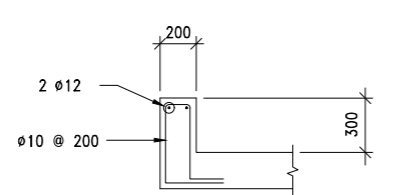
TYPICAL COLUMN LAP SPLICE DETAIL



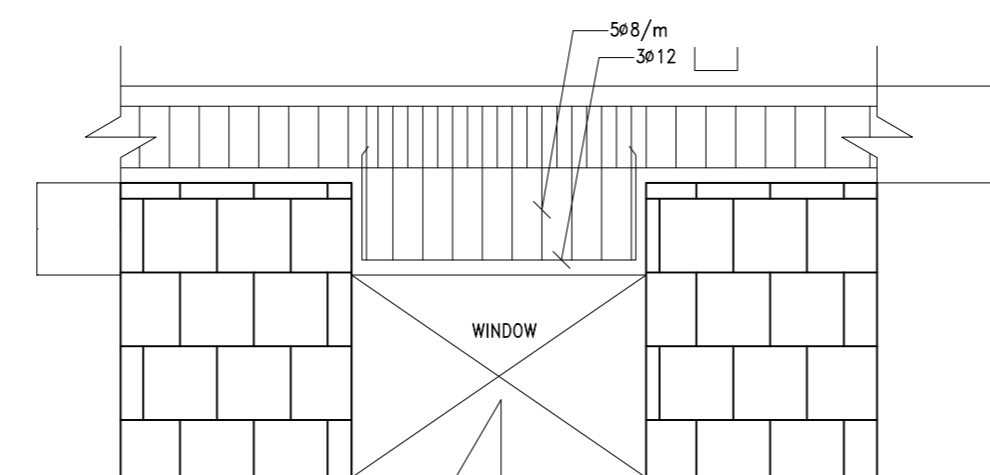
CONCRETE SLAB CURB AROUND OPENING



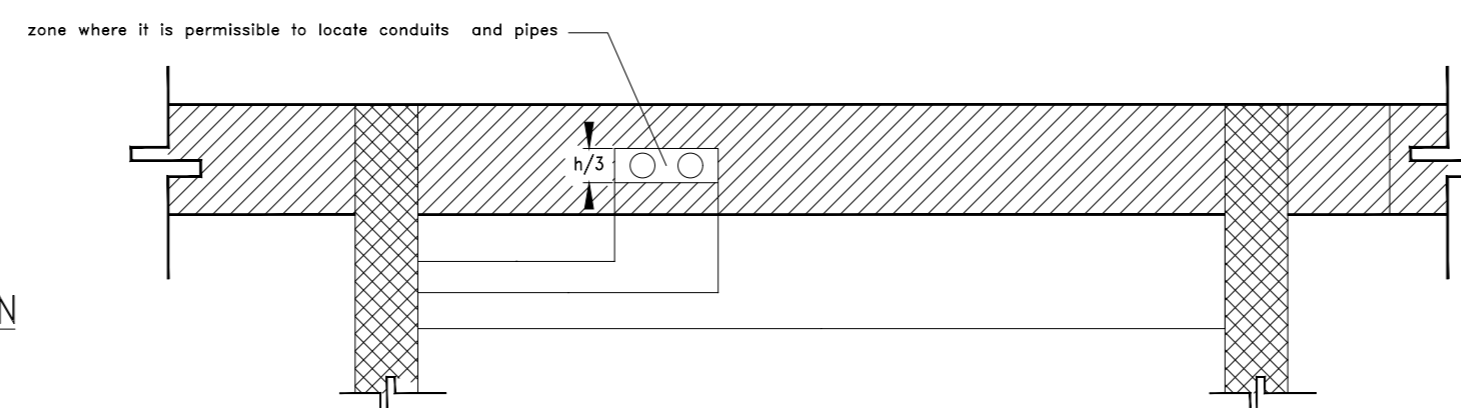
EXPANSION JOINT



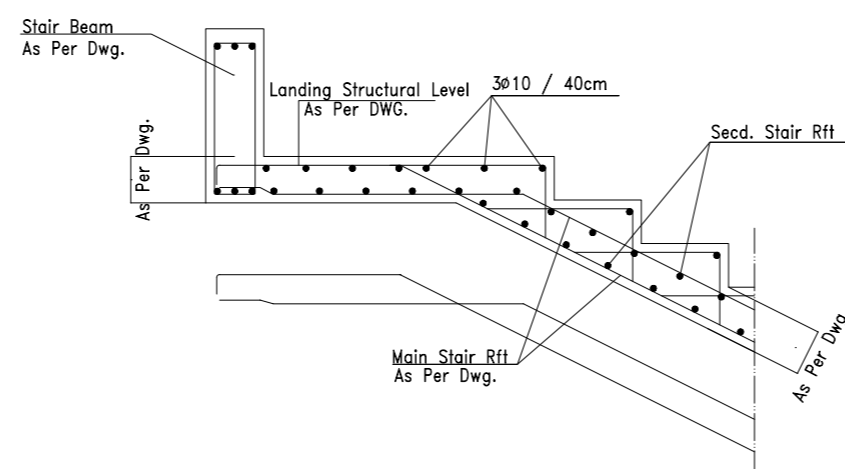
INV. ROUND BEAM FOR ROOF INSULATION



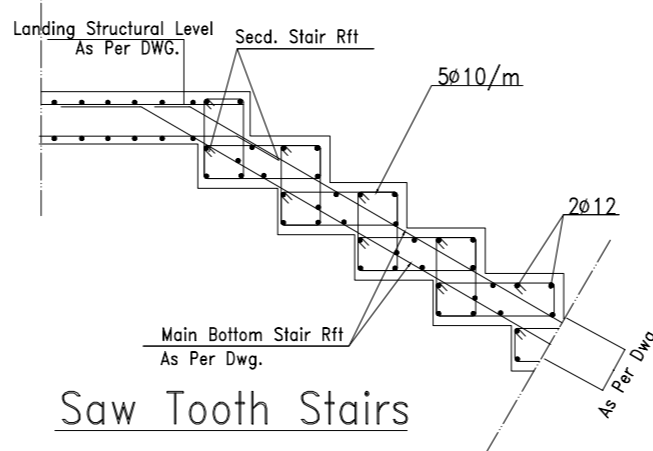
TYPE DETAIL FOR LENTEL NEER DROP BEAM



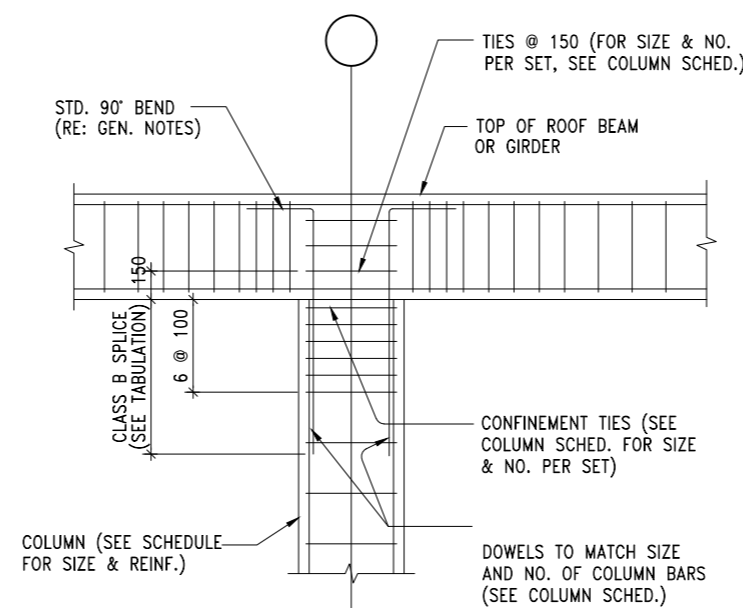
LOCATION OF CONDUITS AND PIPES PASSING HORIZONTALLY THROUGH BEAMS



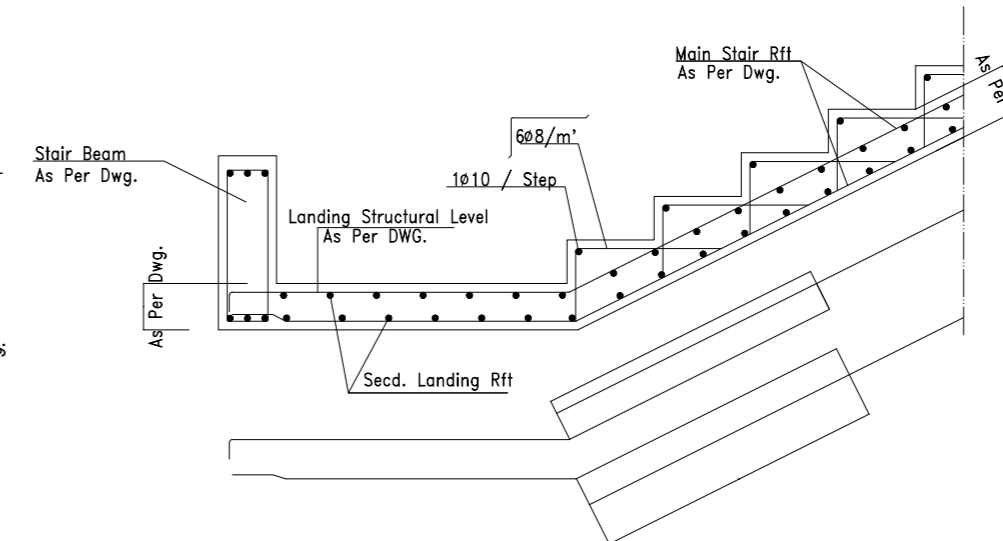
Typical Stair Details Up to Landing Level



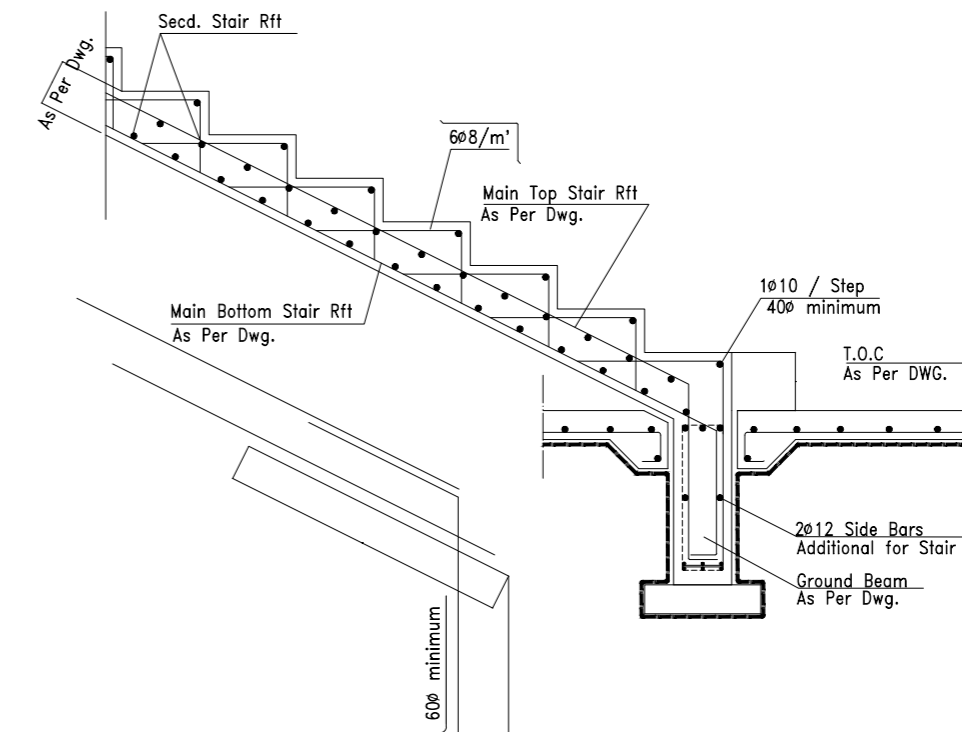
Saw Tooth Stairs



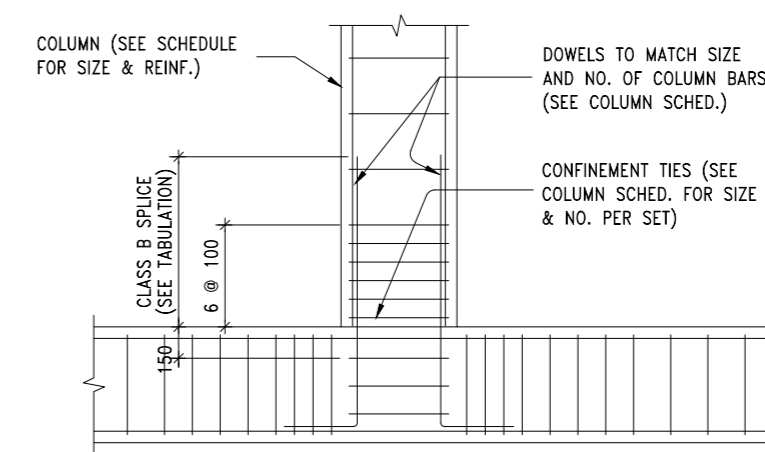
TYPICAL ROOF BEAM / GIRDER COLUMN JOINT DETAIL



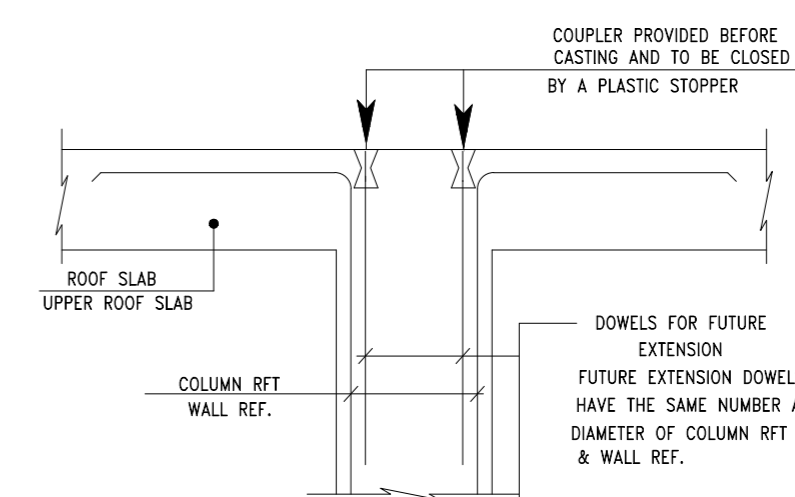
Typical Stair Details Up to Floor Level



Typical Stair Details from Foundation



TYPICAL PLANTED COLUMNS DETAILS



FUTURE EXTENSION DETAIL FOR RC COLUMNS AND SHEAR WALLS



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشاري :
تطابق للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

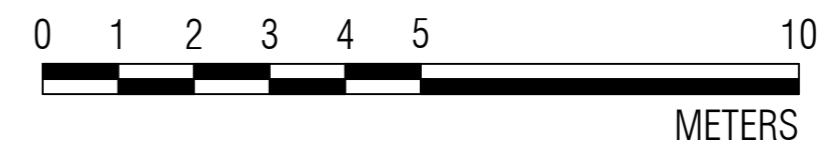
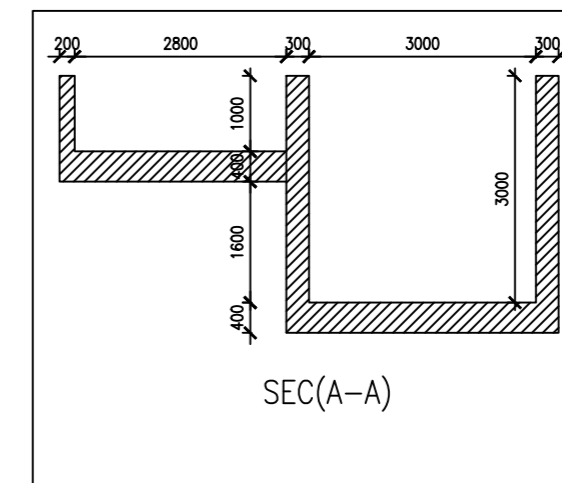
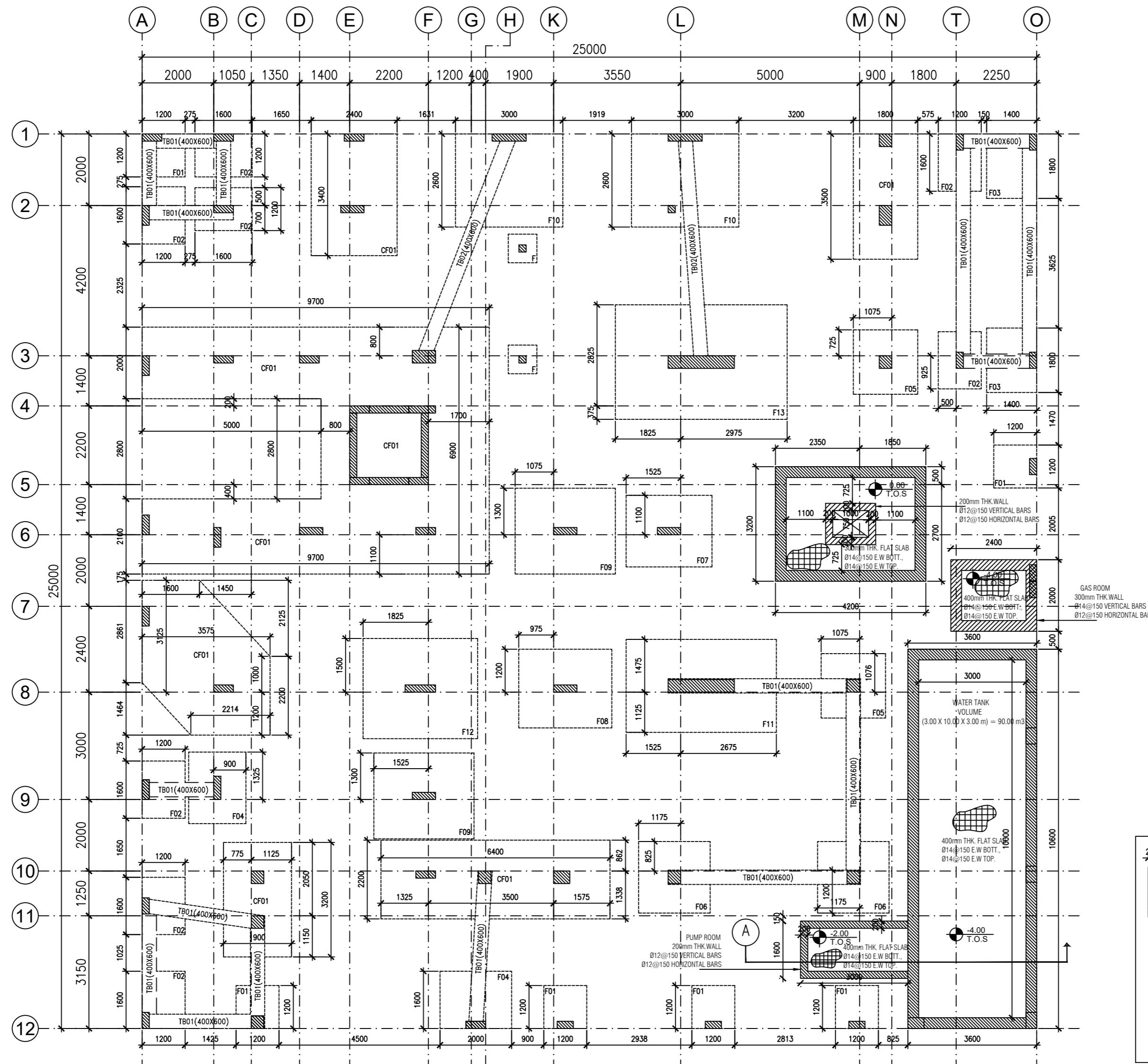
القسم : مخططات أنشائية

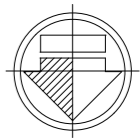
اللوحة : FOUNDATION LAYOUT

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف

مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-101





NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

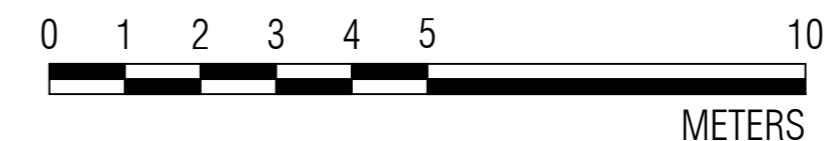
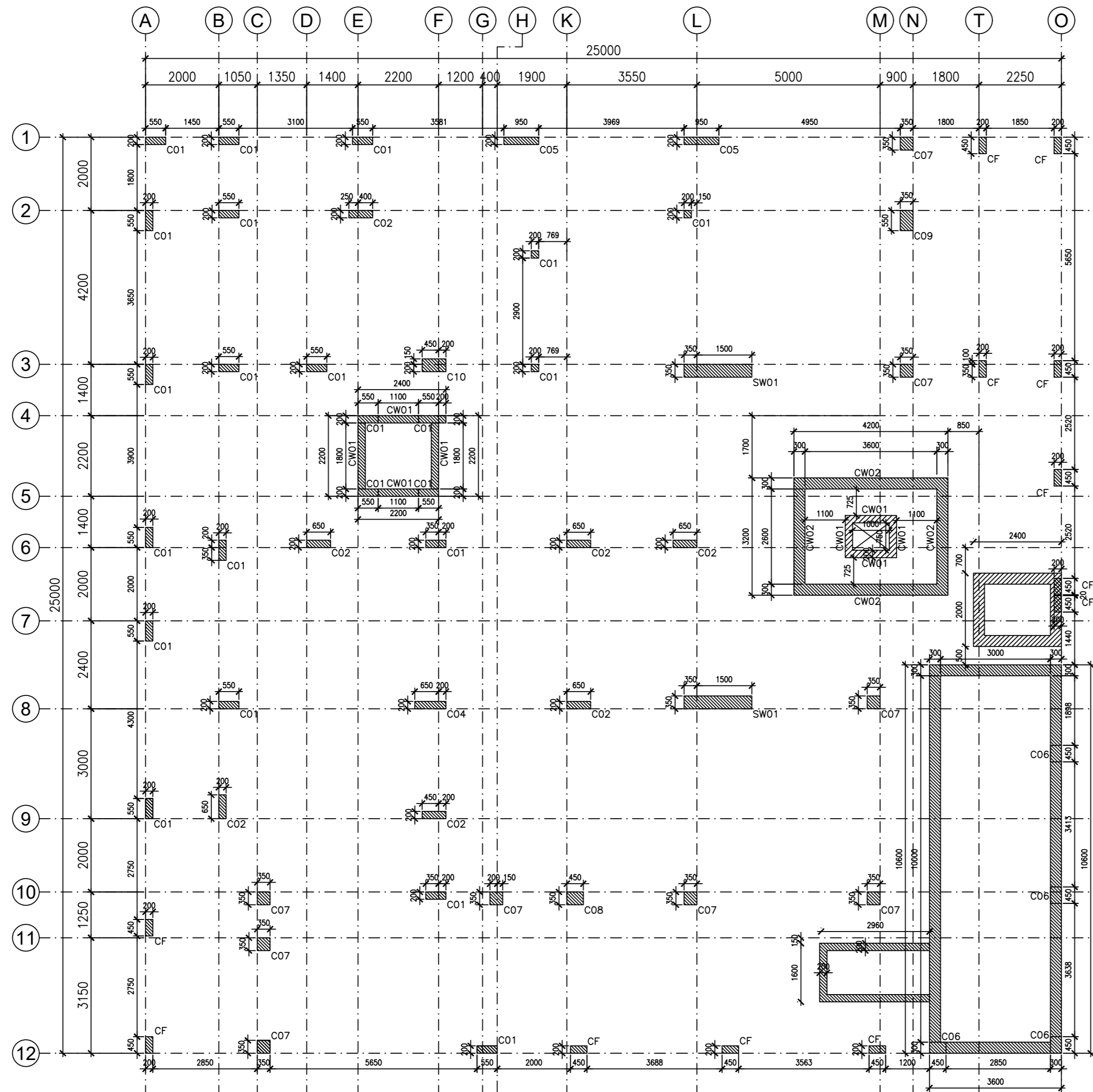
المالك : محمد العنزي

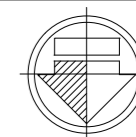
الموقع : الرياض

القسم : مخططات أنشائية

اللوحة: COLUMNS&AXES FOUNDATIONS PLAN

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر/ ٢٠٢٣
رقم اللوحة	STR-201





NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياصمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

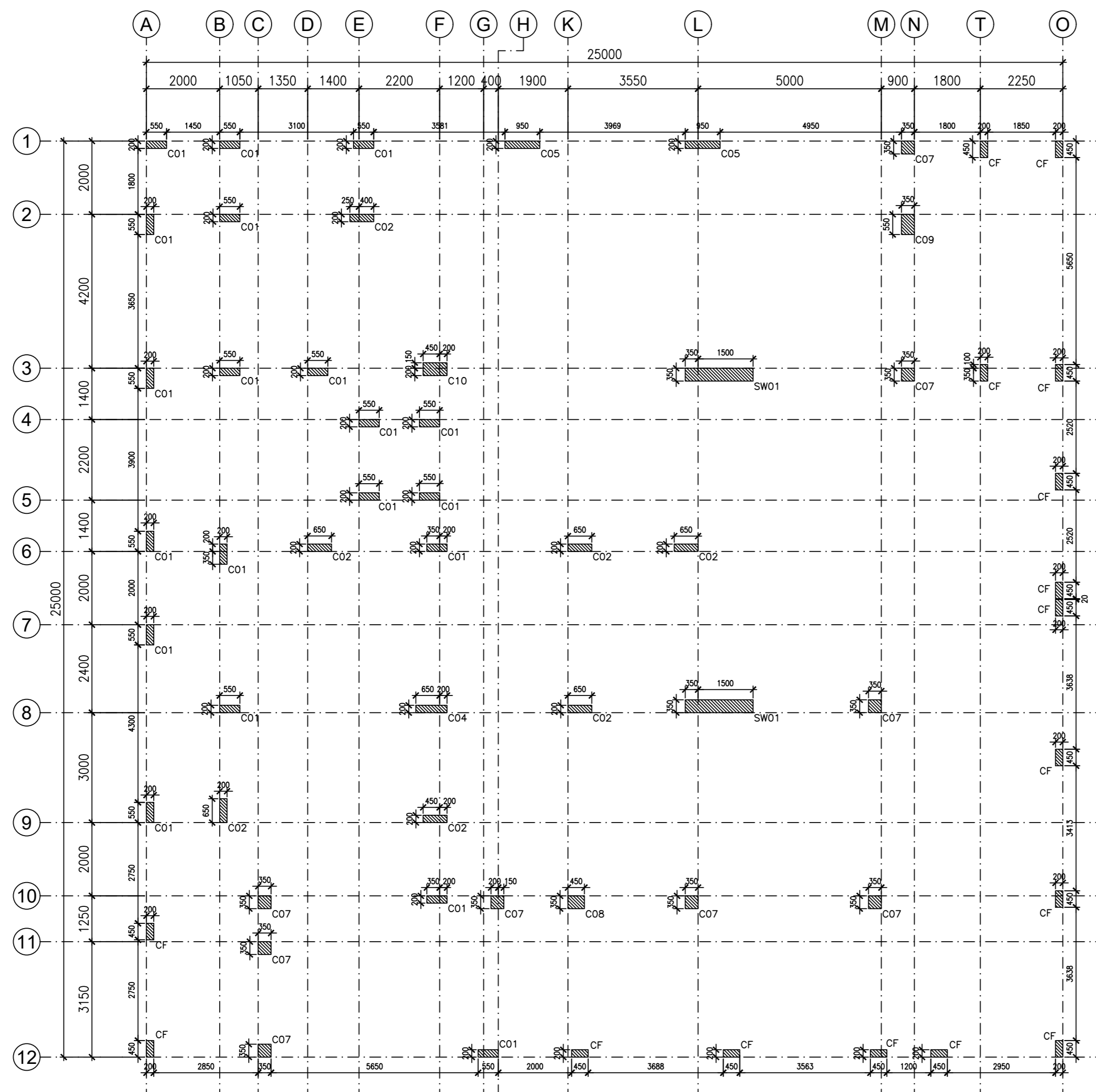
المالك : محمد العنزي

الموقع : الرياض

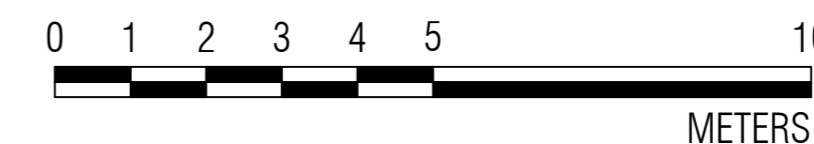
القسم : مخططات أنشائية

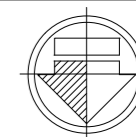
اللوحة : COLUMNS & AXES GROUND PLAN

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر/ ٢٠٢٣
رقم اللوحة	STR-202



C COLUMNS & AXES GROUND PLAN
STR-203 1:100





NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياصمين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

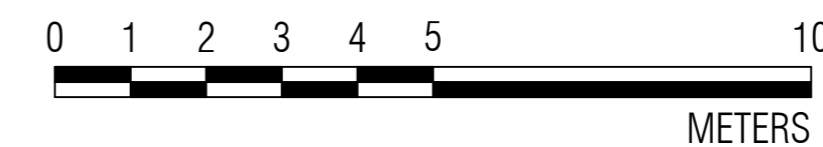
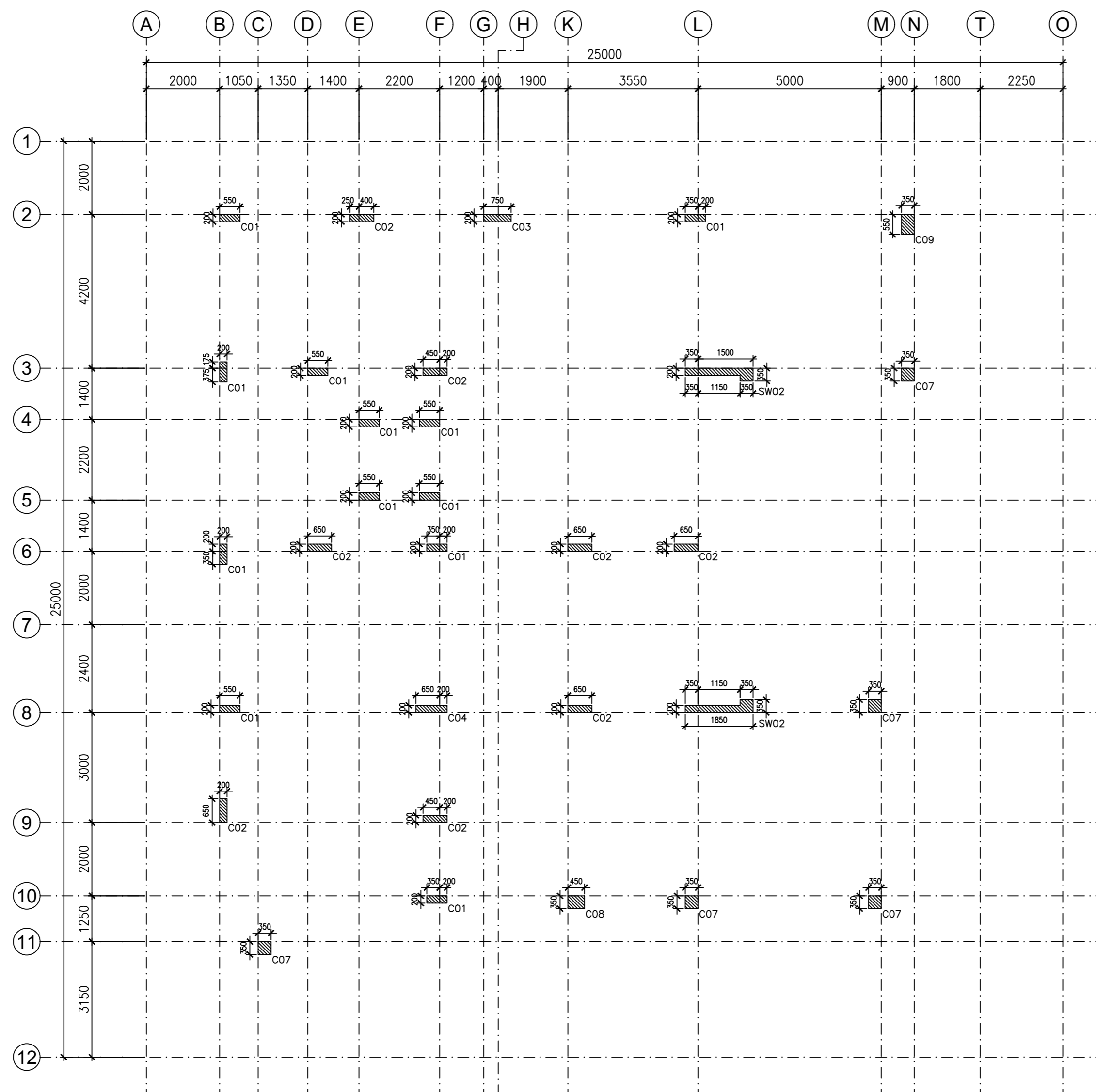
القسم : مخططات أنشائية

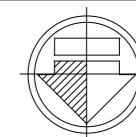
اللوحة : COLUMNS & AXES FIRST PLAN

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف

مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-203





NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسين
جوال المكتب - ٥٥٧٤٨٨٨٥٥

الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧

القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥

المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

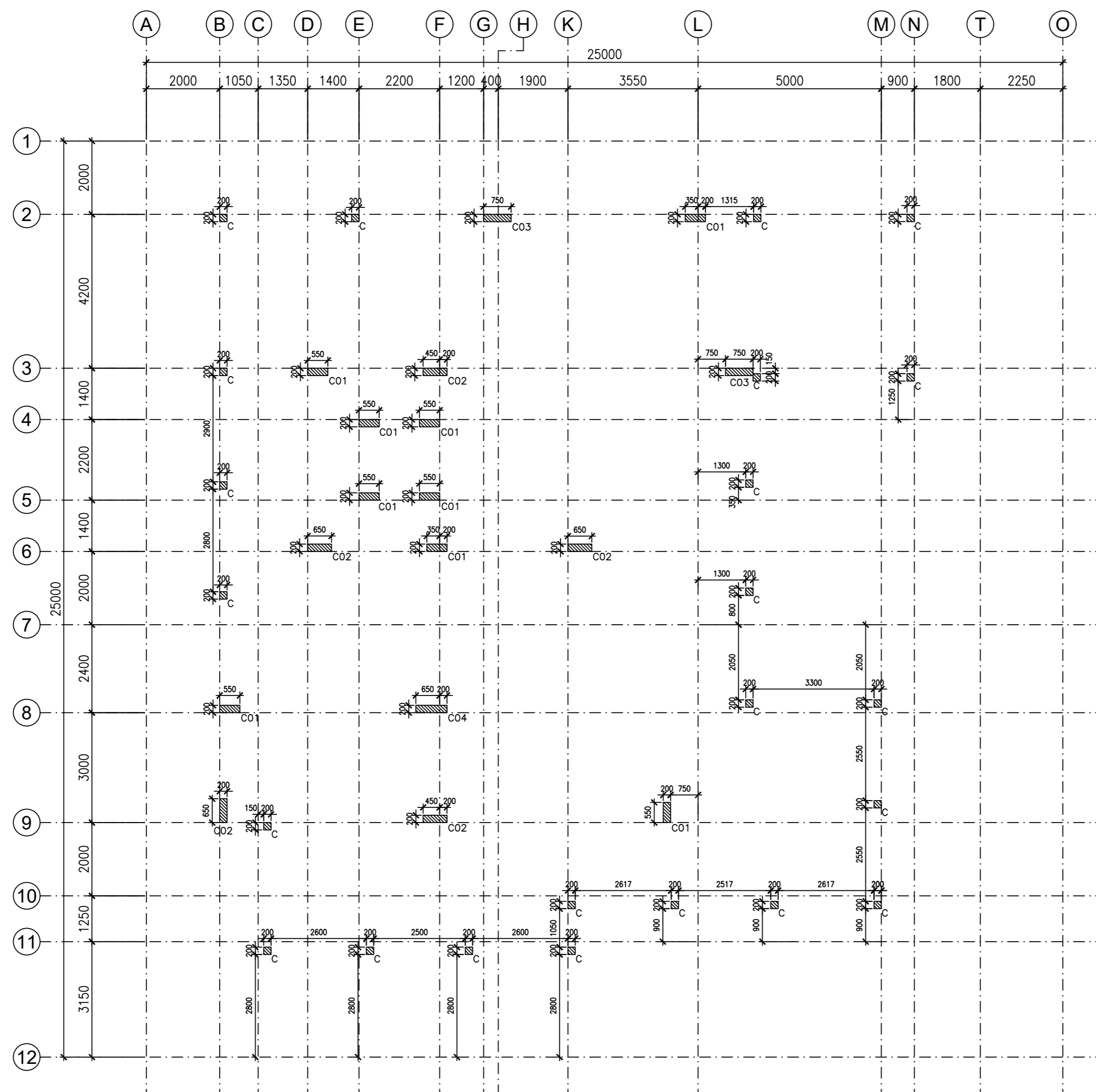
القسم : مخططات أنشائية

اللوحة : COLUMNS & AXES ROOF PLAN

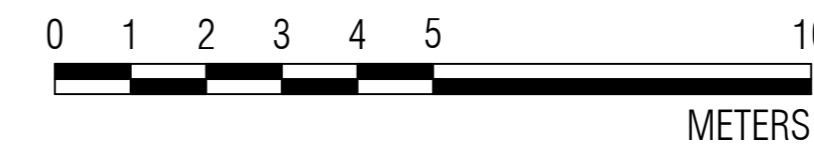
تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف

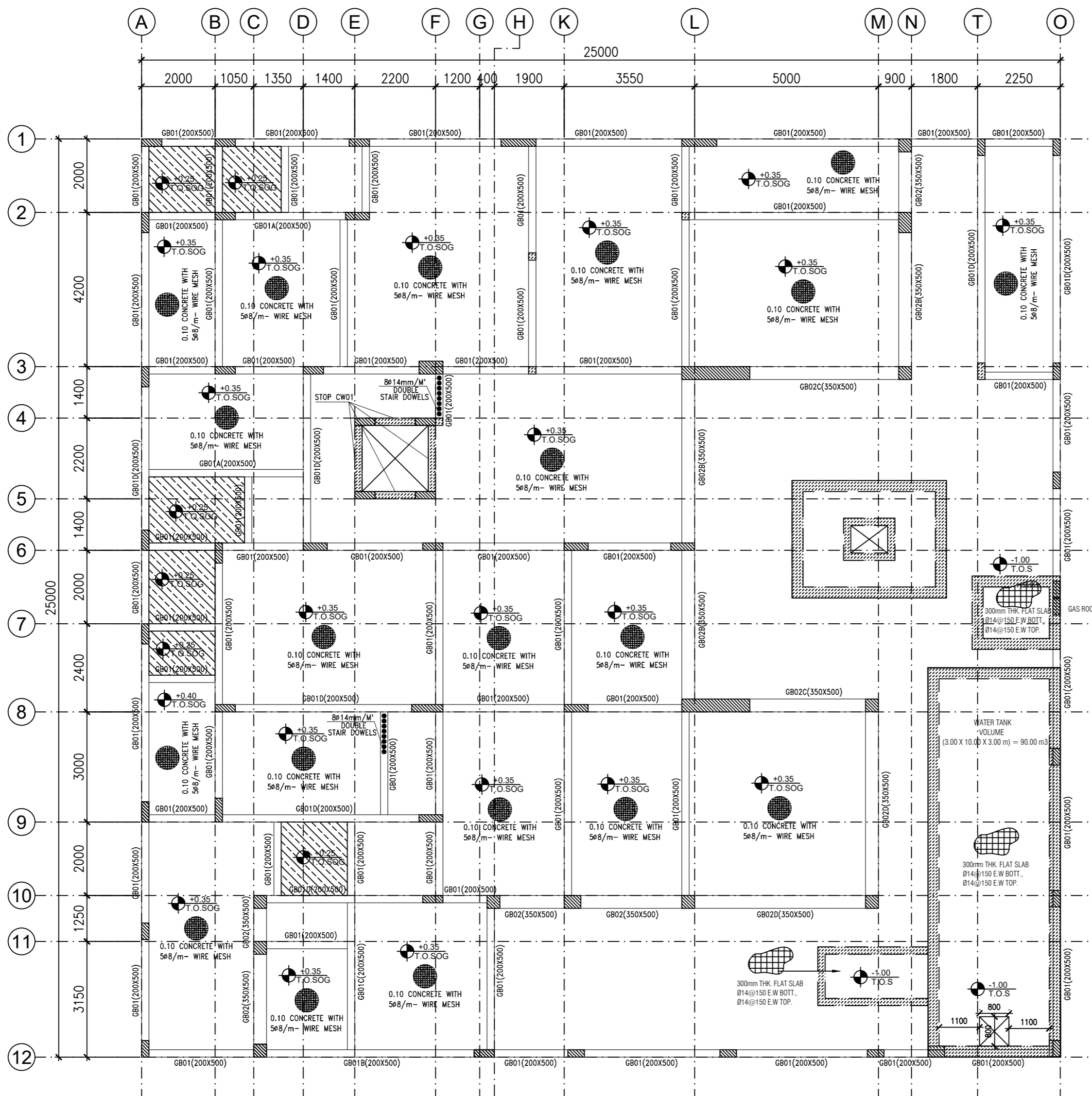
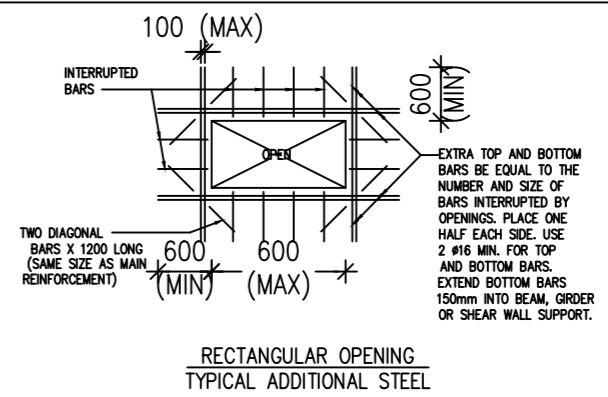
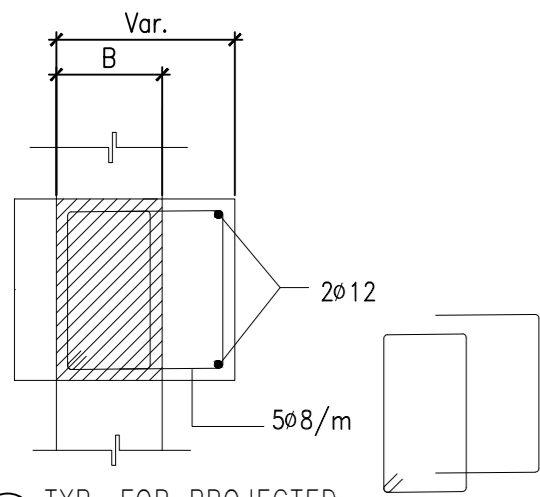
مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-204



E COLUMNS & AXES ROOF PLAN
STR-205 1:100





(X) TYP. FOR PROJECTED PARTS OF BEAMS

- NOTES:**
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
 - ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
 - PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
 - VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
 - UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
للاستشارات الهندسية
 سجل تجاري رقم : 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري : تطابق للاستشارات الهندسية
 الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسمين
 جوال المكتب - 0574888805
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - 0519888827
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - 0519888805
 المجمعة شارع الامير نايف حي الملك عبدالله
 جوال المكتب - 0571888884

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : GROUND FLOOR FRAMING PLAN

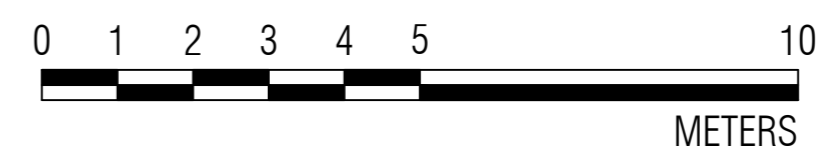
تصميم : م / عبدالله السيد

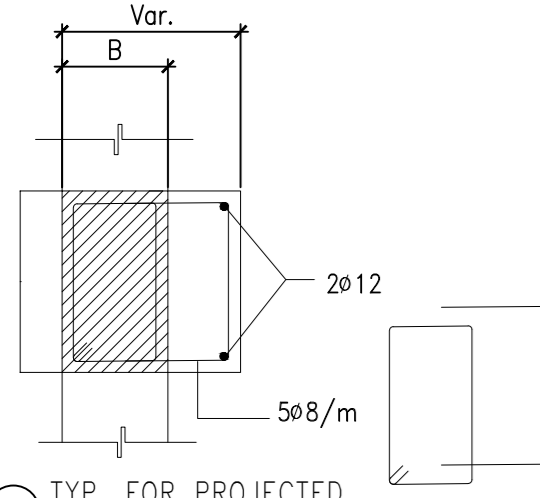
مراجعة : م / حمد النضيف

اعتماد : م / حمد النضيف

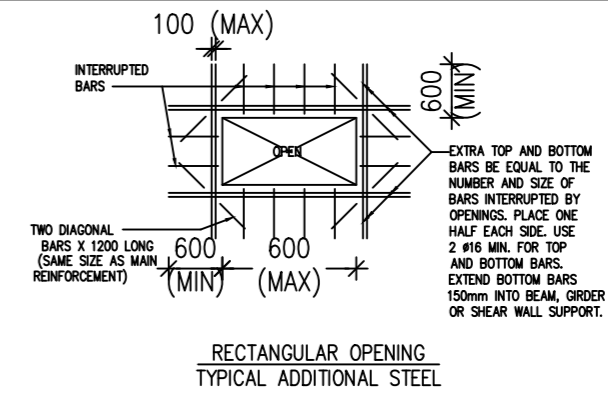
مقياس الرسم 1 - 100 التاريخ ديسمبر/ 2023 رقم اللوحة

A GROUND FLOOR FRAMING PLAN
 STR.-301 1:100

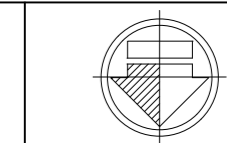
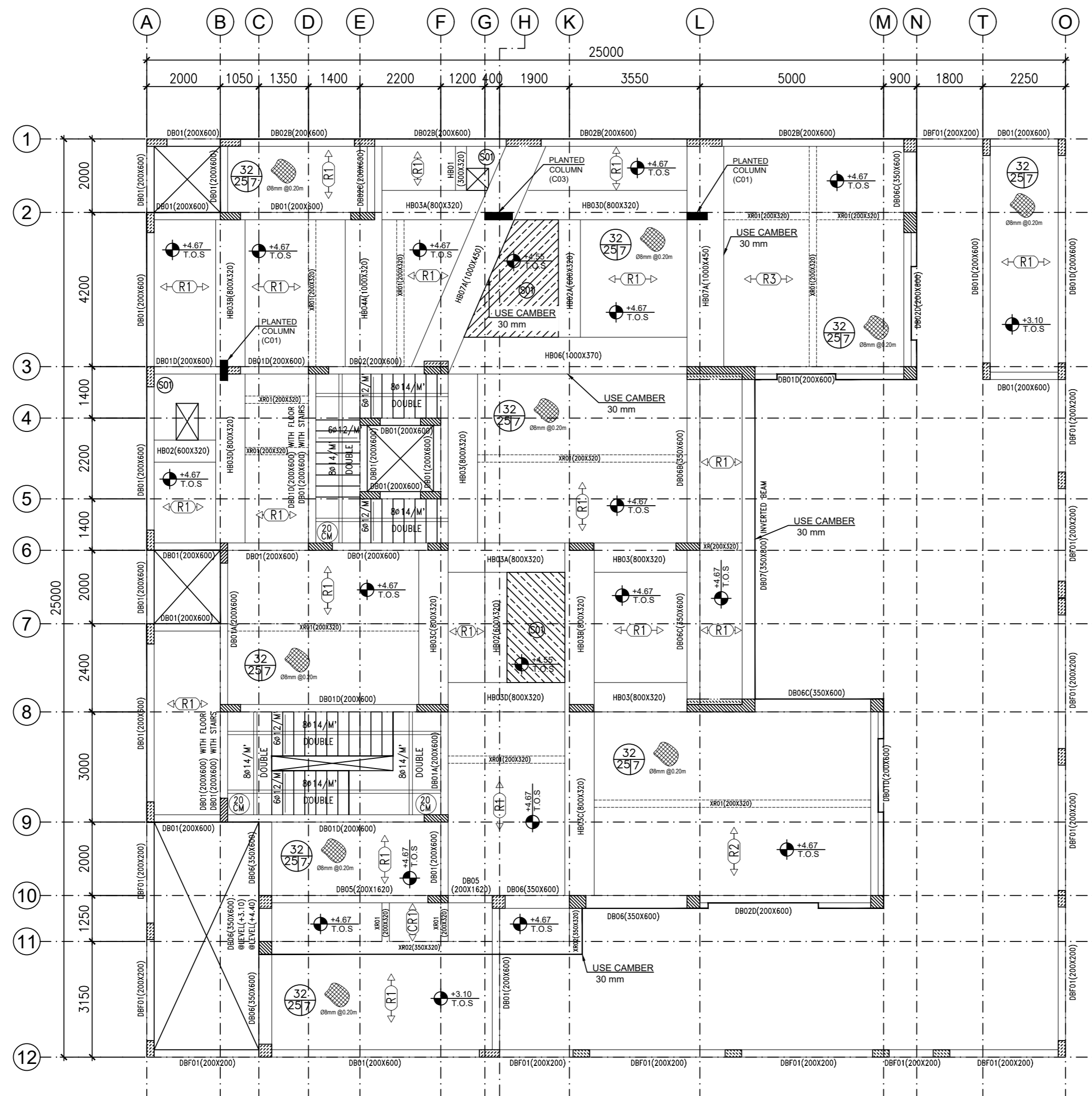




(X) TYP. FOR PROJECTED PARTS OF BEAMS



RECTANGULAR OPENING
TYPICAL ADDITIONAL STEEL



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



**الاستشاري :
تطابق
للاستشارات الهندسية**

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888827
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 0571888884

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : FIRST FLOOR FRAMING PLAN

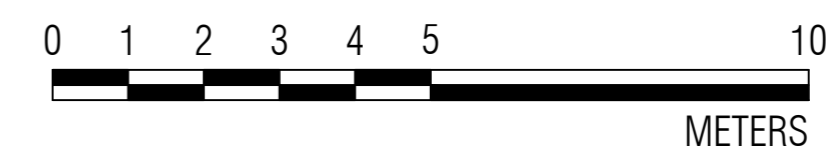
تصميم : م / عبدالله السيد

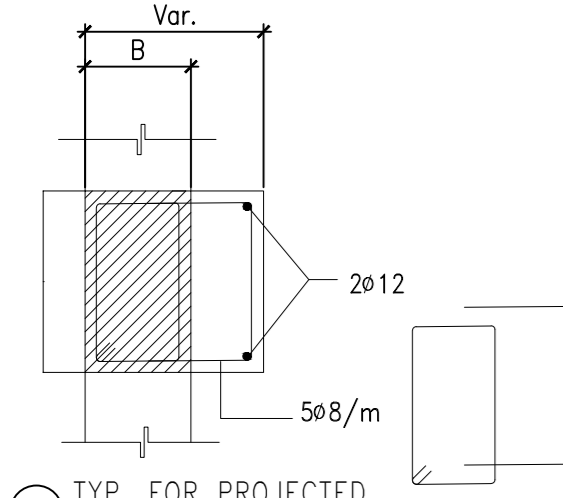
مراجعة : م / حمد النضيف

اعتماد : م / حمد النضيف

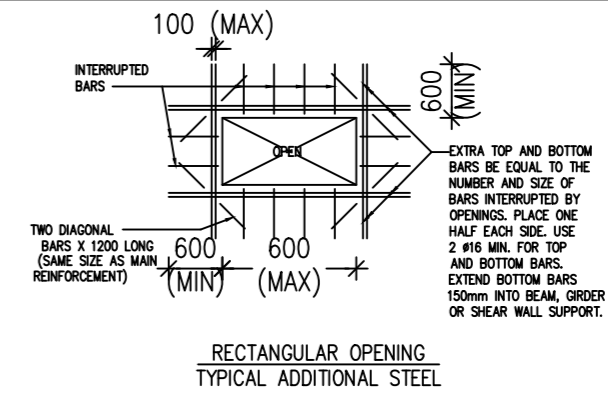
مقياس الرسم 1 - 100 التاريخ ديسمبر/ 2023 رقم اللوحة STR-302

C FIRST FLOOR FRAMING PLAN
STR-303 1:100

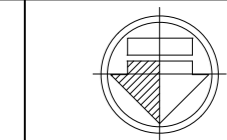
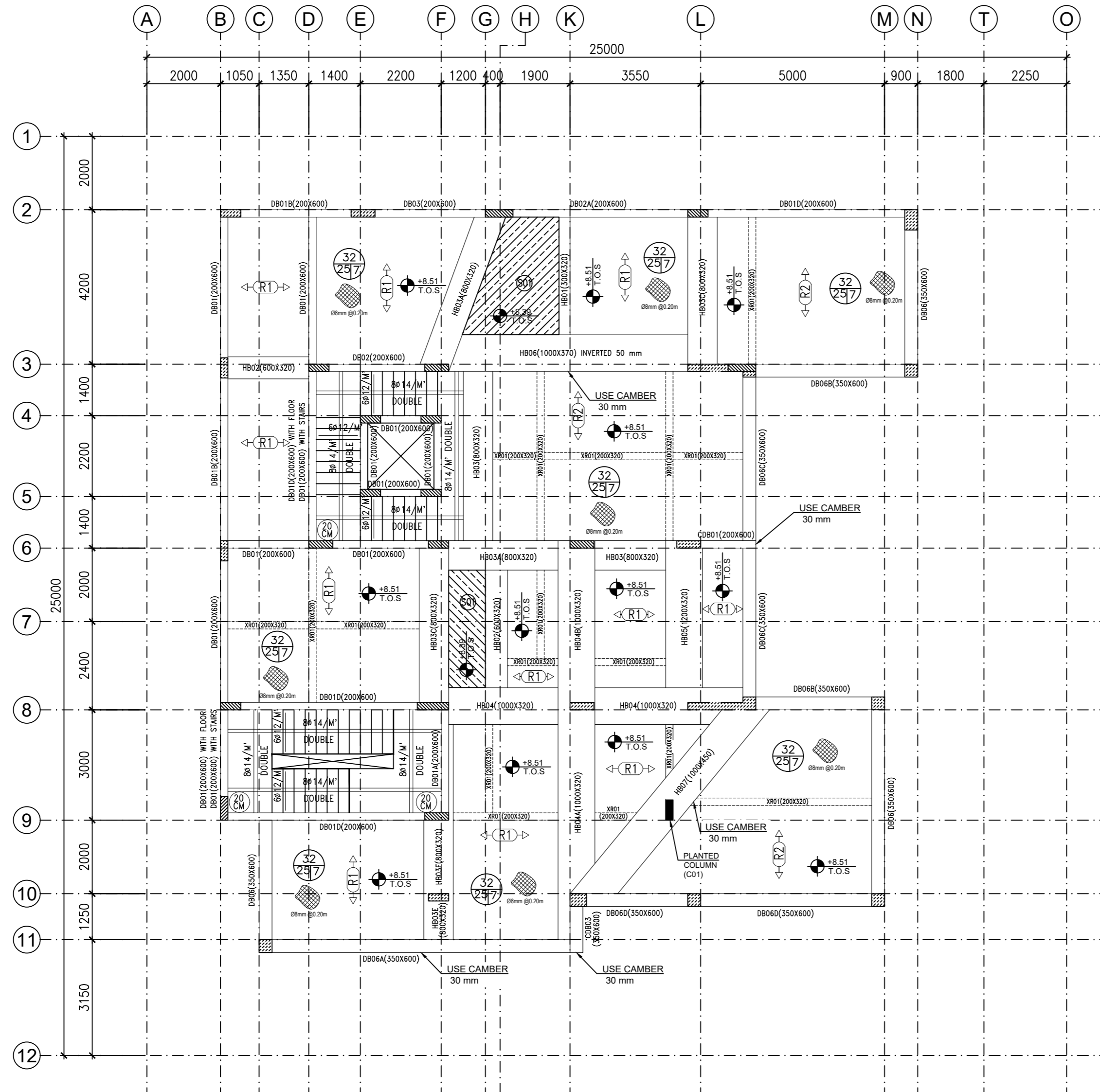




(X) TYP. FOR PROJECTED PARTS OF BEAMS



RECTANGULAR OPENING
TYPICAL ADDITIONAL STEEL



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
للاستشارات الهندسية
سجل تجاري رقم: 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري:
تطابق
للاستشارات الهندسية
الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888827
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 057188884

مشروع: فيلا سكنية

المالك: محمد العنزي

الموقع: الرياض

القسم: مخططات أنشائية

اللوحة: ROOF FLOOR FRAMING PLAN

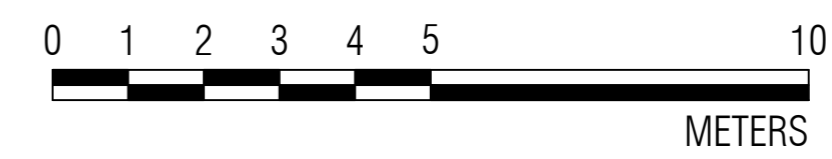
تصميم: م / عبدالله السيد

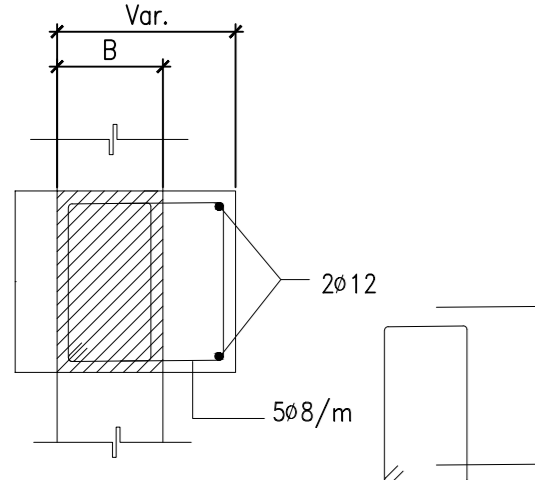
مراجعة: م / حمد النضيف

اعتماد: م / حمد النضيف

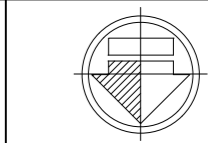
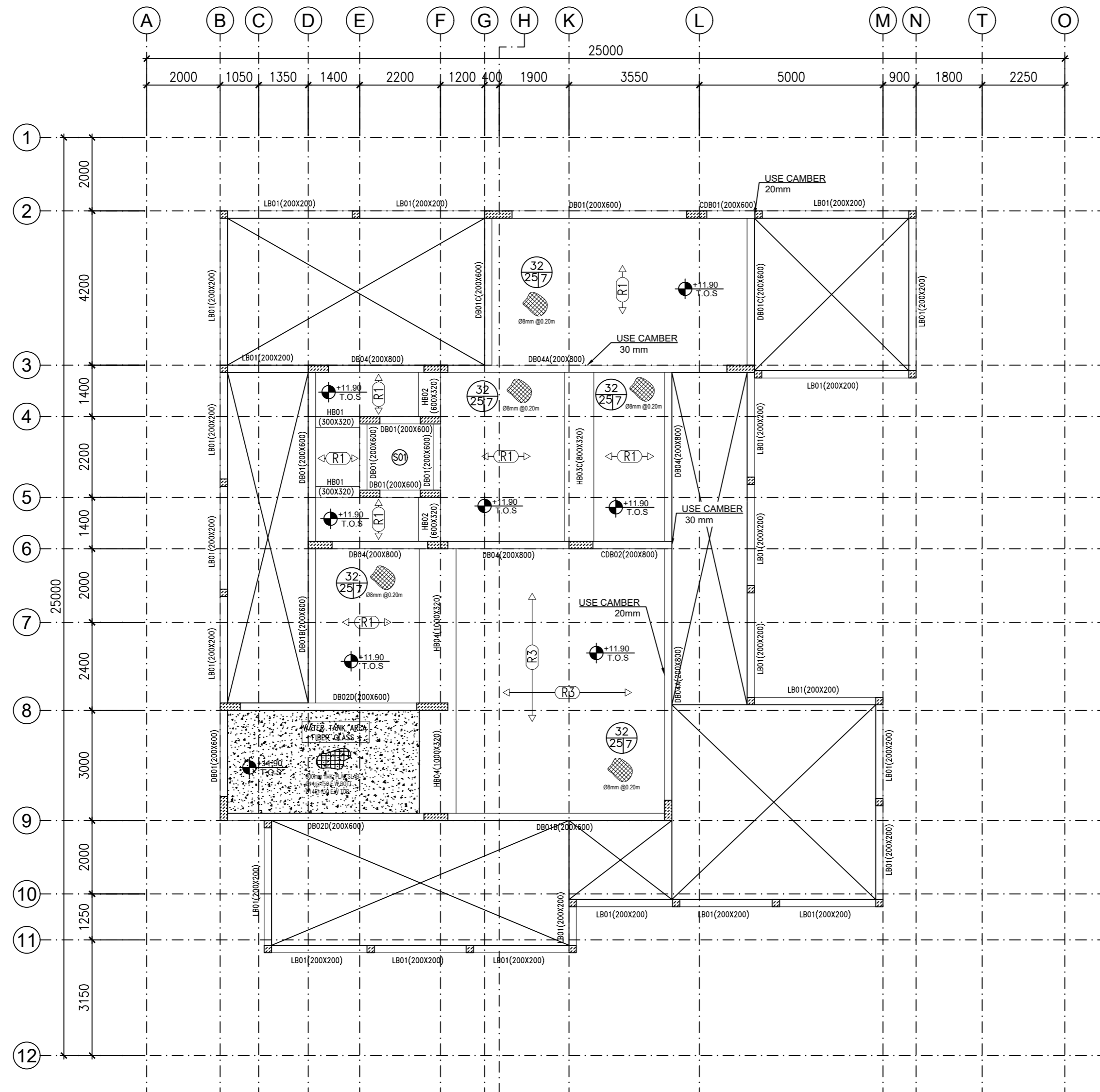
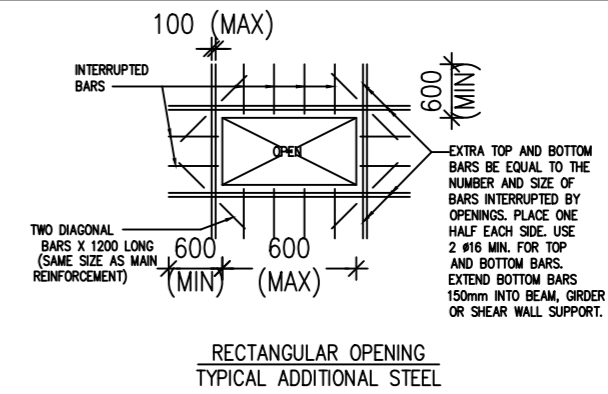
مقياس الرسم: 1 - 100 التاريخ: ديسمبر/ 2023

رقم اللوحة: STR-303





(X) TYP. FOR PROJECTED PARTS OF BEAMS



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشاري :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسمين
جوال المكتب - 0574888805
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - 0519888827
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - 0519888805
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - 057188884

مشروع : فيلا سكنية

المالك : محمد العنزي

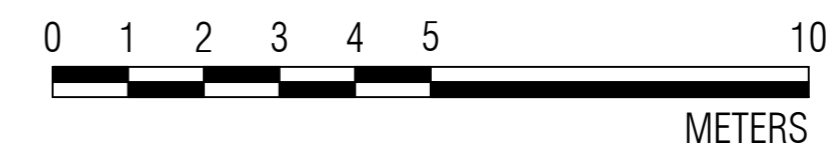
الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : TOP ROOF FLOOR FRAMING PLAN

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم	1:100 التاريخ ديسمبر/ 2023
رقم اللوحة	STR-304

E TOP ROOF FLOOR FRAMING PLAN
STR-305 1:100

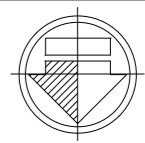
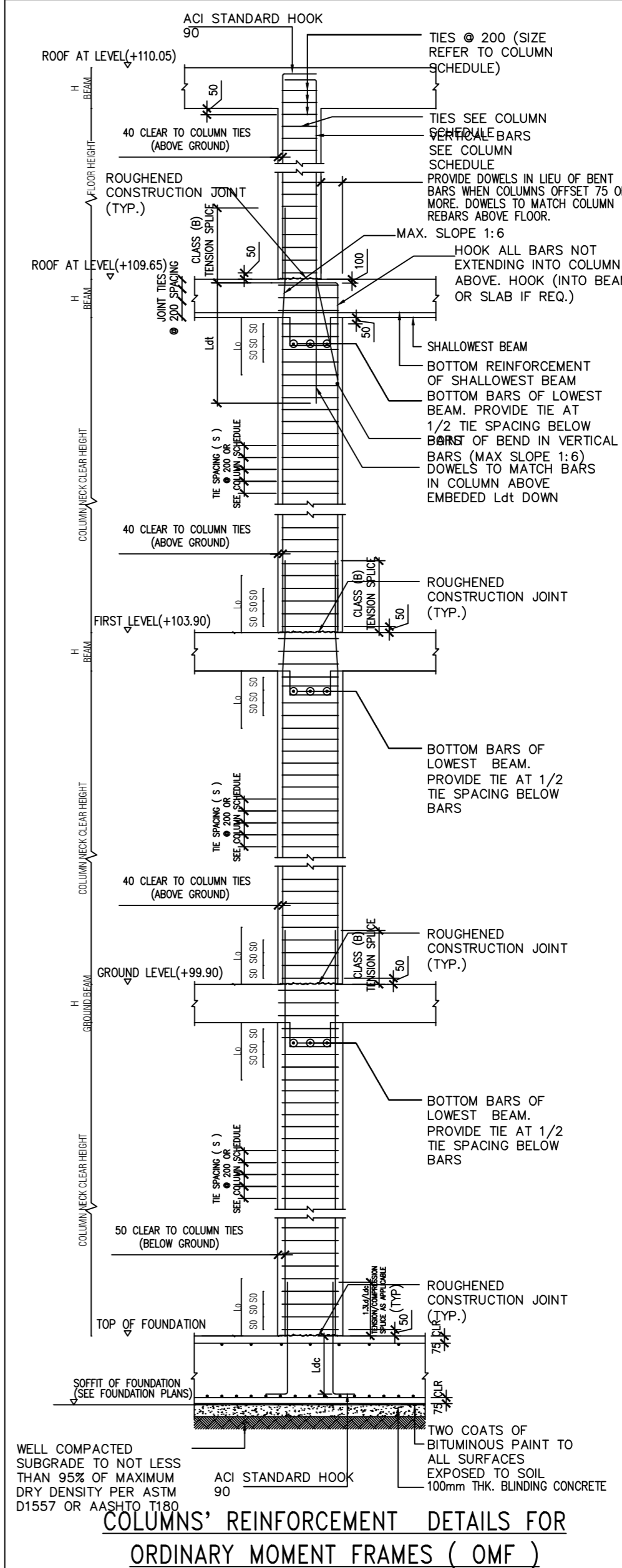


METERS

SCHEDULE OF COLUMNS					
C	CF	C01	C02	C03	C04
SCHEDULE OF COLUMNS					
C05	C06	C07	C08	C09	C10
SCHEDULE OF WALLS					
SW01					
SW02					
CW01		CW02			

COLUMNS' TIES SPACING AS PER (SBC304-07 & ACI318-14) FOR ORDINARY MOMENT FRAMES :

- * S - SPACING OF TIES THROUGH CLEAR HEIGHT OF COLUMN SHALL NOT EXCEED SMALLEST OF THE FOLLOWING:
 - SMALLEST OF COLUMN'S DIMENSIONS.
 - 16 TIMES SMALLEST DIAMETER OF LONGITUDINAL REINFORCEMENT BARS.
 - 48 TIMES DIAMETER OF STIRRUPS.
 - 0.5 TIMES LARGER OF COLUMN'S CROSS-SECTION DIMENSIONS.
- * Sj - SPACING OF TIES AT JOINT SHALL NOT EXCEED SMALLEST OF THE FOLLOWING:
 - WIDTH OF COLUMN'S DIMENSIONS.
 - 16 TIMES SMALLEST DIAMETER OF LONGITUDINAL REINFORCEMENT BARS.
 - 48 TIMES DIAMETER OF STIRRUPS.



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

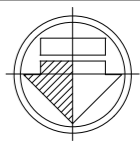
REVISION	DATE
0	
1	
2	
3	
4	
5	

مكتب تطابق
 للاستشارات الهندسية
 سجل تجاري رقم : 1010626839
TATABUQ OFFICE FOR ENGINEERING CONSULTANCY

الاستشاري :
تطابق
 للاستشارات الهندسية
 الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسمين
 جوال المكتب - 0574888805
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - 0519888277
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - 0519888805
 المجمعة شارع الامير نايف حي الملك عبدالله
 جوال المكتب - 0571888804

مشروع : فيلا سكنية
 المالك : محمد العنزي
 الموقع : الرياض
 القسم : مخططات أنشائية

اللوحة : SCHEDULES - NO.01
 تصميم : م / عبدالله السيد
 مراجعة : م / حمد النضيف
 اعتماد : م / حمد النضيف
 مقياس الرسم 1 - 100 التاريخ ديسمبر/ 2023
 رقم اللوحة : STR-401



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

SCHEDULE OF TIE BEAMS										
MARK	SIZE		BOTTOM BARS		TOP BARS			STIRRUPS		REMARKS
	W	H	A	B	C	D	E	SIZE SPACING FROM EACH FIRST STIRRUP TO MIDSPAN		
TB01	400	600	4Ø16	-	4Ø16	-	-	Ø8	1/SET: @ 200	-
TB02	400	600	5Ø16	-	7Ø16	-	-	Ø8	1/SET: @ 200	-

SCHEDULE OF FOOTINGS								
SOIL ALLOWABLE NET BEARING CAPACITY = 150 KPa			FOUNDATION DEPTH = 1.50 M			PORTLAND CEMENT TYPE - V		
MARK	SIZE			REINFORCEMENT				REMARKS
	A	B	T	BOTTOM REINFORCEMENT		TOP REINFORCEMENT		
				"a" BARS	"b" BARS	"f" BARS	"g" BARS	
F	800	800	600	7Ø14\m	7Ø14\m	---	---	---
F01	1200	1200	600	7Ø14\m	7Ø14\m	---	---	---
F02	1200	1600	600	7Ø14\m	7Ø14\m	---	---	---
F03	1400	1800	600	7Ø14\m	7Ø14\m	---	---	---
F04	1600	2000	600	7Ø14\m	7Ø14\m	---	---	---
F05	1800	1800	600	7Ø14\m	7Ø14\m	---	---	---
F06	2000	2000	600	7Ø14\m	7Ø14\m	---	---	---
F07	2000	2400	600	7Ø14\m	7Ø14\m	---	---	---
F08	2200	2600	600	7Ø14\m	7Ø14\m	---	---	---
F09	2400	2800	600	7Ø14\m	7Ø14\m	---	---	---
F10	2600	3000	600	7Ø14\m	7Ø14\m	---	---	---
F11	2600	4200	600	7Ø14\m	7Ø14\m	---	---	---
F12	2800	3200	600	10Ø14\m	10Ø14\m	---	---	---
F13	3200	4800	600	10Ø14\m	10Ø14\m	---	---	---
CF01	AS SHOWN PLAN		600	7Ø14\m	7Ø14\m	7Ø14\m	7Ø14\m	---

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية
 الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسين
 جوال المكتب - ٥٥٧٤٨٨٨٥٥
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - ٥٥١٩٨٨٨٢٧
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - ٥٥١٩٨٨٨٠٥
 المجمعة شارع الامير نايف حي الملك عبدالله
 جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : SCHEDULES - NO.02

تصميم / م / عبدالله السيد

مراجعة / م / حمد النضيف

اعتماد / م / حمد النضيف

مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-402



NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
- ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
- PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
- VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
- UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق
للاستشارات الهندسية

الفرع الرئيسي
 الرياض طريق الملك عبدالعزيز - حي الياسمين
 جوال المكتب - 0574888850
 الخبر طريق الملك خالد - حي البحيرة
 جوال المكتب - 0519888277
 القصيم طريق الملك سلمان - بريدة حي الريان
 جوال المكتب - 0519888805
 المجمعة شارع الامير نايف حي الملك عبدالله
 جوال المكتب - 0571888846

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : SCHEDULES - NO.03

تصميم م / عبدالله السيد

مراجعة م / حمد النضيف

اعتماد م / حمد النضيف

مقياس الرسم ١ : ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-403

SCHEDULE OF GRADE BEAMS

MARK	SIZE		BOTTOM BARS			TOP BARS			STIRRUPS		REMARKS
	W	H	A	B	C	D	E	SIZE	SPACING FROM EACH FIRST STIRRUP TO MIDSPAN		
GB01	200	500	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	-	
GB01A	200	500	3ø14	2ø14	3ø14	-	-	ø8	1/SET: ø 200	-	
GB01B	200	500	3ø14	-	3ø14	2ø14	-	ø8	1/SET: ø 200	-	
GB01C	200	500	3ø14	-	3ø14	-	2ø14	ø8	1/SET: ø 200	-	
GB01D	200	500	3ø14	2ø14	3ø14	2ø14	2ø14	ø8	1/SET: ø 200	-	
GB02	350	500	3ø16	-	3ø16	-	-	ø8	1/SET: ø 200	-	
GB02A	350	500	3ø16	2ø14	3ø16	-	-	ø8	1/SET: ø 200	-	
GB02B	350	500	3ø16	-	3ø16	2ø14	-	ø8	1/SET: ø 200	-	
GB02C	350	500	3ø16	-	3ø16	-	2ø14	ø8	1/SET: ø 200	-	
GB02D	350	500	3ø16	2ø14	3ø16	2ø14	2ø14	ø8	1/SET: ø 200	-	

CAMBER NOTES:

- UNLESS OTHERWISE INDICATED, PROVIDE MINIMUM CAMBER FOR BEAMS WITH SPAN IN EXCESS OF 6.00 M AS FOLLOWS:
 CONTINUOUS BEAM - 1.5 MM PER M OF SPAN (i.e. A 10 M SPAN BEAM WILL HAVE 15 MM CAMBER AT MIDSPAN.
 SIMPLE BEAM - 2.0 MM PER M OF SPAN AT MIDSPAN.
- CANTILEVER BEAM OF ANY SPAN SHALL BE PROVIDED WITH 5.0 MM CAMBER PER METER OF SPAN AT THE FREE END.
- TO THESE MM CAMBERS MUST BE ADDED ANTICIPATED SHORTENING AND SETTLEMENT OF FORM SUPPORTS FOUNDATION WHILE CARRYING WET CONCRETE.
- CASE OF TOP REINFORCEMENT AT SUPPORT IS DIFFERENT, THE HIGHER REINFORCEMENT TO BE APPLIED.

SCHEDULE OF RIBS

MARK	SIZE		BOTTOM BARS			TOP BARS			STIRRUPS		REMARKS
	W	H	A	B	C	D	E	SIZE	SPACING FROM EACH FIRST STIRRUP TO MIDSPAN		
R1	150	320	2ø12	-	2ø12	-	-	ø8	1/SET: ø 200	-	
R2	150	320	2ø14	-	2ø14	-	-	ø8	1/SET: ø 200	-	
R3	150	320	2ø16	-	2ø16	-	-	ø8	1/SET: ø 200	-	
XR01	200	320	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	-	
XR02	350	320	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	-	
OR01	150	320	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	CANTILIVER RIB	

USE POLYSTYRENE 400*250 FOR ONE WAY SLAB
 # USE POLYSTYRENE 400*400*250 FOR TWO WAY SLAB
 # STIRRUP HEIGHT FOR HOLLOW BLOCK SLAB = 270 mm

SCHEDULE OF SLABS

MARK	THICK- NESS (t)	REINFORCEMENT										REMARKS										
		SHORT SPAN					LONG SPAN															
		TOP BARS					BOTTOM BARS															
		BOTTOM BARS		CONT. EDGE		DISC. EDGE	BOTTOM BARS		CONT. EDGE		DISC. EDGE											
S01	200	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	SIZE	SPACING	
WIRE MESH (ø12@200 E.W BOT) & (ø12@200 E.W TOP)																						

NOTES:

- IF THE TOP REINFORCEMENT OF TWO ADJACENT PANELS IS DIFFERENT THE HIGHER VALUE OF REINFORCEMENT IS ADOPTED OF THE TWO PANELS (E.G ø10 @ 150 (520 MM2/M) ADJACEMNT TO ø12 @ 200 (565 MM2/M) USE ø12 @ 200 FOR BOTH)
- FOR SLABS WITH THICKNESS MORE THAN 150MM INTERMEDIATE AREAS NOT COVERD WITH TOP REINFORCEMENT SHALL BE REINFORCED WITH TOP SHRINKAGE REINFORCEMENT ø10@200 E.W.

SCHEDULE OF DROP BEAMS

MARK	SIZE		BOTTOM BARS			TOP BARS			STIRRUPS		REMARKS
	W	H	A	B	C	D	E	SIZE	SPACING FROM EACH FIRST STIRRUP TO MIDSPAN		
LB01	200	200	2ø10	-	2ø10	-	-	ø8	1/SET: ø 200	-	
DBF01	200	200	2ø10	-	2ø10	-	-	ø8	1/SET: ø 200	-	
DBSTAIRS	200	600	4ø14	-	4ø14	-	-	ø8	1/SET: ø 200	CLOSED STIRRUPS	
DB01	200	600	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	-	
DB01A	200	600	3ø14	2ø14	3ø14	-	-	ø8	1/SET: ø 200	-	
DB01B	200	600	3ø14	-	3ø14	2ø14	-	ø8	1/SET: ø 200	-	
DB01C	200	600	3ø14	-	3ø14	-	2ø14	ø8	1/SET: ø 200	-	
DB01D	200	600	3ø14	2ø14	3ø14	2ø14	2ø14	ø8	1/SET: ø 200	-	
DB02	200	600	3ø16	-	3ø16	-	-	ø8	1/SET: ø 200	-	
DB02A	200	600	3ø16	2ø14	3ø16	-	-	ø8	1/SET: ø 200	-	
DB02B	200	600	3ø16	-	3ø16	2ø14	-	ø8	1/SET: ø 200	-	
DB02C	200	600	3ø16	-	3ø16	-	2ø14	ø8	1/SET: ø 200	-	
DB02D	200	600	3ø16	2ø14	3ø16	2ø14	2ø14	ø8	1/SET: ø 200	-	
B03	200	600	4ø16	-	3ø16	2ø16	-	ø8	1/SET: ø 200	-	
B04	200	800	4ø14	-	4ø14	-	-	ø8	1/SET: ø 200	USE SIDE BAR 2T12ø300mm	
B04A	200	800	4ø14	2ø14	4ø14	2ø14	2ø14	ø8	1/SET: ø 200	USE SIDE BAR 2T12ø300mm	
B05	200	1620	7ø14	-	7ø14	-	-	ø8	1/SET: ø 200	USE SIDE BAR 2T12ø300mm	
DB06	350	600	3ø16	-	3ø16	-	-	ø8	1/SET: ø 200	-	
DB06A	350	600	3ø16	2ø16	3ø16	-	-	ø8	1/SET: ø 200	-	
DB06B	350	600	3ø16	-	3ø16	2ø16	-	ø8	1/SET: ø 200	-	
DB06C	350	600	3ø16	-	3ø16	-	2ø16	ø8	1/SET: ø 200	-	
DB06D	350	600	3ø16	2ø16	3ø16	2ø16	2ø16	ø8	1/SET: ø 200	-	
DB07	350	800	6ø16	3ø16	6ø16	3ø16	3ø16	ø8	1/SET: ø 200	USE SIDE BAR 2T12ø300mm	
CDB01	200	600	4ø16	-	4ø16	-	-	ø8	1/SET: ø 200	CANTILIVER BEAM	
CDB02	200	800	8ø16	-	8ø16	-	-	ø8	1/SET: ø 150	CANTILIVER BEAM USE SIDE BAR 2T12ø300mm	
CDB03	350	600	6ø16	-	6ø16	-	-	ø8	1/SET: ø 200	CANTILIVER BEAM USE SIDE BAR 2T12ø300mm	

CAMBER NOTES:

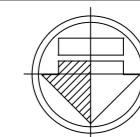
- UNLESS OTHERWISE INDICATED, PROVIDE MINIMUM CAMBER FOR BEAMS WITH SPAN IN EXCESS OF 6.00 M AS FOLLOWS:
 CONTINUOUS BEAM - 1.5 MM PER M OF SPAN (i.e. A 10 M SPAN BEAM WILL HAVE 15 MM CAMBER AT MIDSPAN.
 SIMPLE BEAM - 2.0 MM PER M OF SPAN AT MIDSPAN.
- CANTILEVER BEAM OF ANY SPAN SHALL BE PROVIDED WITH 5.0 MM CAMBER PER METER OF SPAN AT THE FREE END.
- TO THESE MM CAMBERS MUST BE ADDED ANTICIPATED SHORTENING AND SETTLEMENT OF FORM SUPPORTS FOUNDATION WHILE CARRYING WET CONCRETE.
- CASE OF TOP REINFORCEMENT AT SUPPORT IS DIFFERENT, THE HIGHER REINFORCEMENT TO BE APPLIED.

SCHEDULE OF HIDDEN BEAMS

MARK	SIZE		BOTTOM BARS			TOP BARS			STIRRUPS		REMARKS
	W	H	A	B	C	D	E	SIZE	SPACING FROM EACH FIRST STIRRUP TO MIDSPAN		
HB01	300	320	3ø14	-	3ø14	-	-	ø8	1/SET: ø 200	-	
HB02	600	320	4ø14	-	4ø14	-	-	ø8	2/SET: ø 200	-	
HB02A	600	320	6ø14	-	4ø14	-	-	ø8	2/SET: ø 200	-	
HB03	800	320	6ø14	-	6ø14	-	-	ø8	3/SET: ø 200	-	
HB03A	800	320	6ø14	2ø14	6ø14	-	-	ø8	3/SET: ø 200	-	
HB03B	800	320	6ø14	-	6ø14	3ø14	-	ø8	3/SET: ø 200	-	
HB03C	800	320	6ø14	-	6ø14	-	2ø14	ø8	3/SET: ø 200	-	
HB03D	800	320	6ø14	2ø14	6ø14	2ø14	2ø14	ø8	3/SET: ø 200	-	
HB03E	800	320	6ø14	-	6ø14	6ø14	-	ø8	3/SET: ø 200	-	
HB04	1000	320	8ø14	-	8ø14	-	-	ø8	3/SET: ø 200	-	
HB04A	1000	320	8ø14	2ø14	8ø14	-	-	ø8	3/SET: ø 200	-	
HB04B	1000	320	8ø14	-	8ø14	3ø14	-	ø8	3/SET: ø 200	-	
HB05	1200	320	8ø14	-	8ø14	-	2ø14	ø8	4/SET: ø 200	-	
HB06	1000	370	12ø18	2ø18	12ø18	-	-	ø10	4/SET: ø 125	-	
HB07	1000	450	12ø18	-	12ø18	-	-	ø10	4/SET: ø 125	THIS BEAM CARRIES A PLANTED COLUMN	
HB07A	1000	450	26ø20	-	10ø20	10ø20	10ø20	ø10	4/SET: ø 125	THIS BEAM CARRIES A PLANTED COLUMN	

CAMBER NOTES:

- UNLESS OTHERWISE INDICATED, PROVIDE MINIMUM CAMBER FOR BEAMS WITH SPAN IN EXCESS OF 6.00 M AS FOLLOWS:
 CONTINUOUS BEAM - 1.5 MM PER M OF SPAN (i.e. A 10 M SPAN BEAM WILL HAVE 15 MM CAMBER AT MIDSPAN.
 SIMPLE BEAM - 2.0 MM PER M OF SPAN AT MIDSPAN.
- CANTILEVER BEAM OF ANY SPAN SHALL BE PROVIDED WITH 5.0 MM CAMBER PER METER OF SPAN AT THE FREE END.
- TO THESE MM CAMBERS MUST BE ADDED ANTICIPATED SHORTENING AND SETTLEMENT OF FORM SUPPORTS FOUNDATION WHILE CARRYING WET CONCRETE.
- CASE OF TOP REINFORCEMENT AT SUPPORT IS DIFFERENT, THE HIGHER REINFORCEMENT TO BE APPLIED.



NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى :
تطابق للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

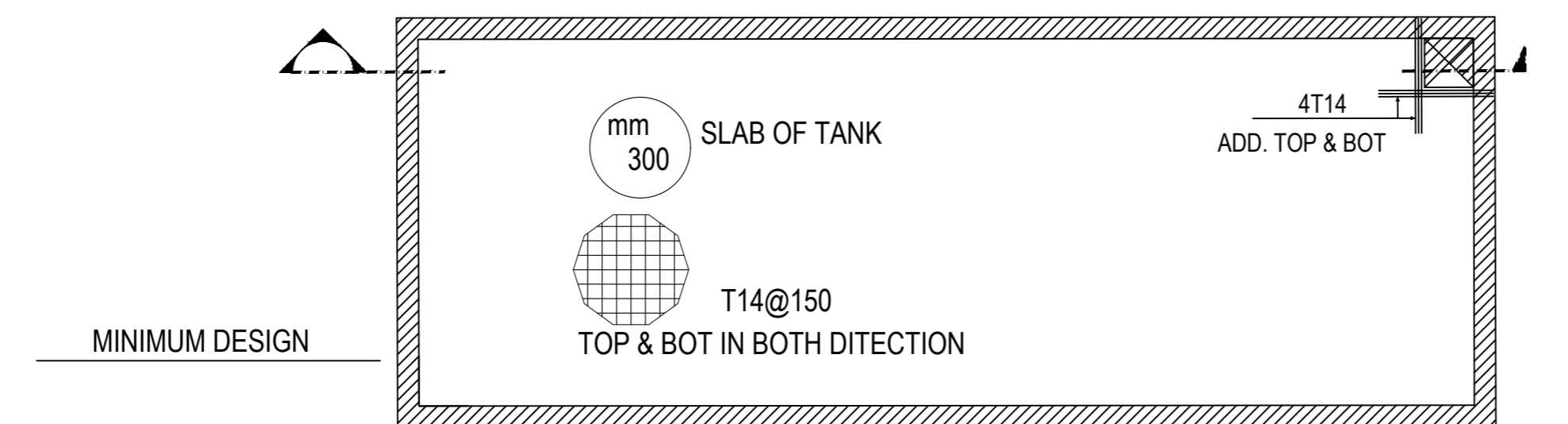
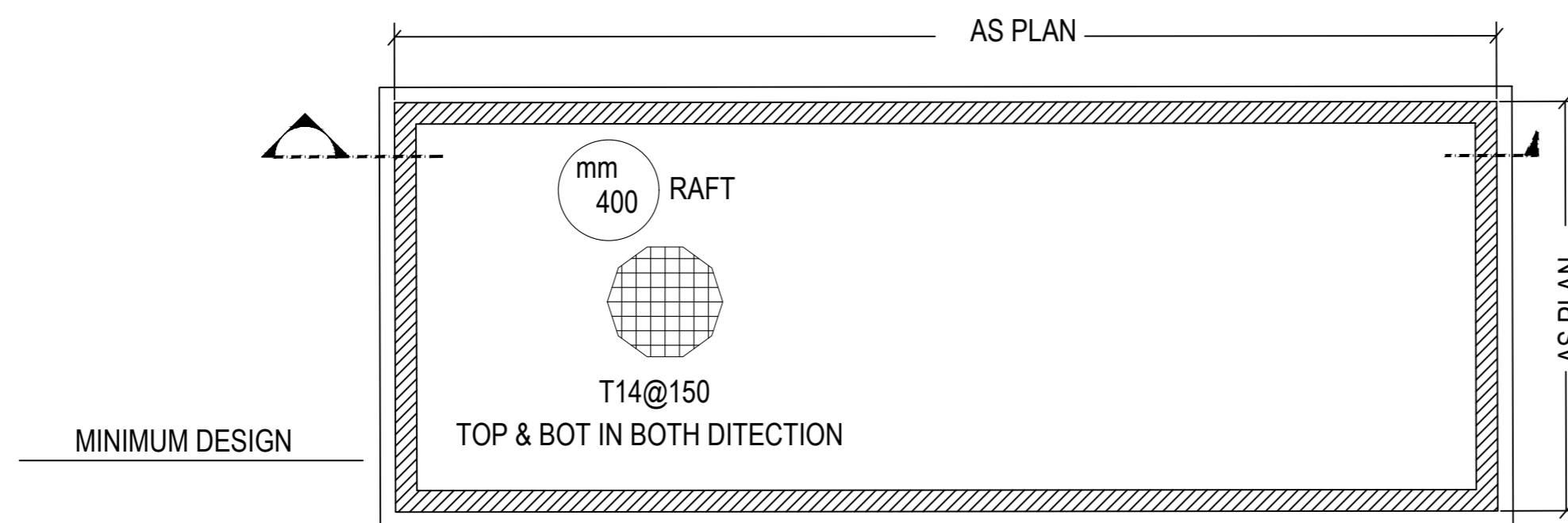
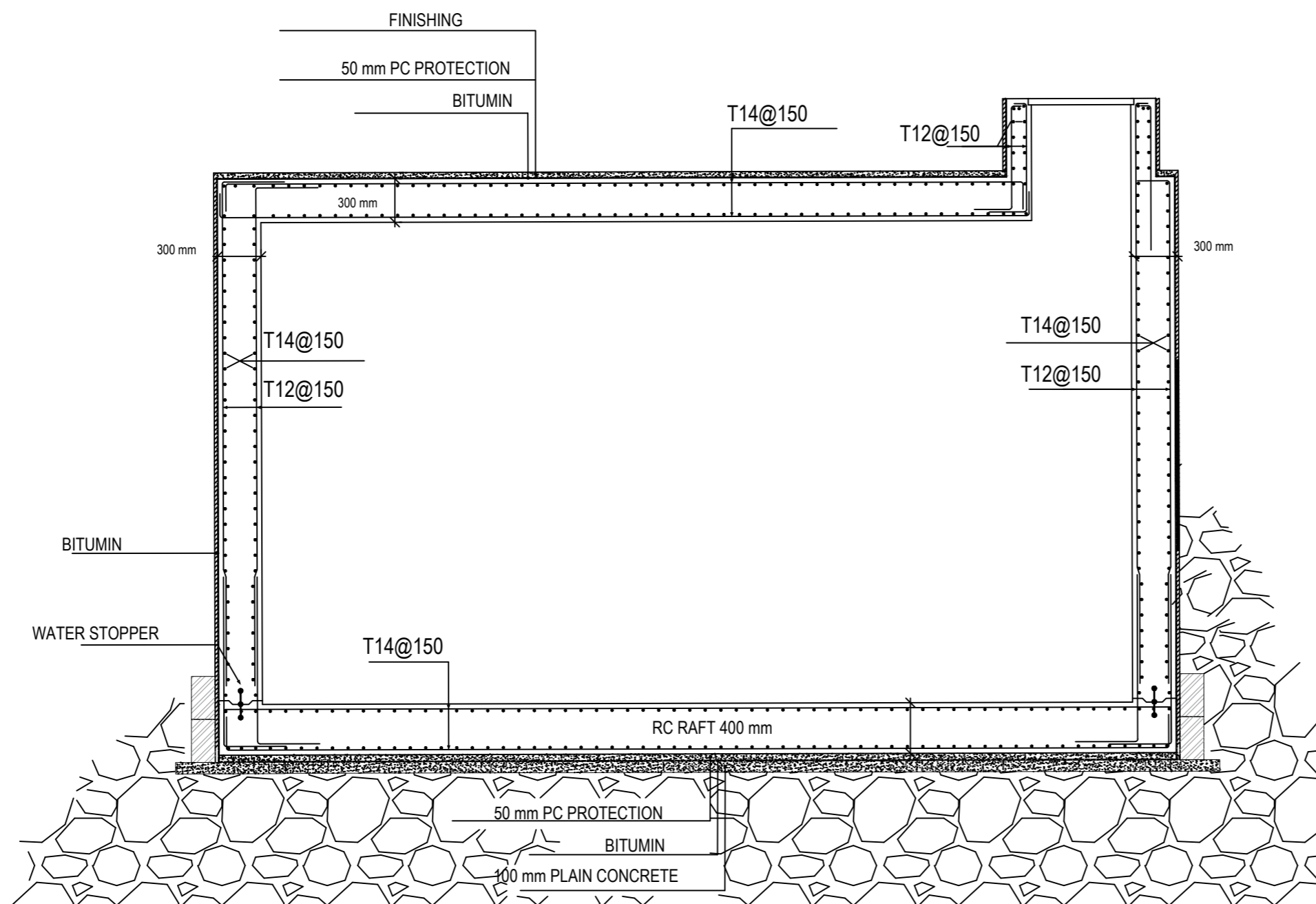
المالك : محمد العنزي

الموقع : الرياض

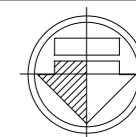
القسم : مخططات أنشائية

اللوحة : WATER TANK

تصميم	م / عبدالله السيد
مراجعة	م / حمد النضيف
اعتماد	م / حمد النضيف
مقياس الرسم ١ - ١٠٠	التاريخ ديسمبر / ٢٠٢٣
رقم اللوحة	STR-501



WATER TANKS



NOTES:

1. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN MILLIMETERS AND ELEVATION LEVELS ARE IN MILLIMETERS.
2. ASSUME ROAD LEVEL AS EL. 0.00M. PRESUMED SURVEYED ROAD AND ACTUAL GRADE LEVELS OF ALL WALKWAYS, SIDEWALK AND GREEN AREAS MUST BE VERIFIED AT SITE BY THE CONTRACTOR AND SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.
3. PRIOR TO WORK COMMENCEMENT, CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON SITE & SECURE NECESSARY PERMITS FOR CONSTRUCTION.
4. VERIFY ALL SIZES AND DIMENSIONS OF DOORS, WINDOWS, WINDOW SCREEN, AND ARCHES OPENINGS ON THE JOB SITE AND SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION AND INSTALLATION.
5. UNLESS OTHERWISE INDICATED ALL INTERNAL AND EXTERNAL WALLS SHALL BE CONCRETE MASONRY UNITS (CMU) BLOCKS. CHANGES IN THE WALL PROPERTIES MUST BE COORDINATED TO THE SUPERVISING SITE ENGINEER AND SUBMIT REPORT WITH SPECIFICATIONS TO DESIGN CONSULTANTS FOR REVIEW AND APPROVAL.

REVISION	DATE
0	
1	
2	
3	
4	
5	



الاستشارى : تطابق للاستشارات الهندسية

الفرع الرئيسي
الرياض طريق الملك عبدالعزيز - حي الياسين
جوال المكتب - ٥٥٧٤٨٨٨٥٥
الخبر طريق الملك خالد - حي البحيرة
جوال المكتب - ٥٥١٩٨٨٨٢٧
القصيم طريق الملك سلمان - بريدة حي الريان
جوال المكتب - ٥٥١٩٨٨٨٠٥
المجمعة شارع الامير نايف حي الملك عبدالله
جوال المكتب - ٥٠٦٧١٨٨٨٤

مشروع : فيلا سكنية

المالك : محمد العنزي

الموقع : الرياض

القسم : مخططات أنشائية

اللوحة : SWIMMING POOL

تصميم / م / عبدالله السيد
مراجعة / م / حمد النضيف
اعتماد / م / حمد النضيف

مقياس الرسم ١ - ١٠٠ التاريخ ديسمبر/ ٢٠٢٣

رقم اللوحة STR-502

